

LOWER SITE OUTLINE WORKS
1:200

RevID	Comment	Date
B	New Arch. set issued	08.09.21
E	RFI - Parapet Saddle Flashings, Roof & Bracing	24.01.2023
G	Construction Amendments	01.09.2023

- SITE NOTES:**
- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604, NZBC and to good trade practice.
 - The contractor is confirm all boundary co-ordinates and dimensions on site prior to construction. A registered professional surveyor or licensed cadastral surveyor to issue a B-081 Building Location Certificate, this is required at council foundation inspection to record retaining wall locations relative to boundaries and easements.
 - Read in conjunction with any site and soil investigations.
 - Contractor or builder to verify all dimensions prior to construction.
 - Construction area to be fully fenced before commencing construction, all work to comply with NZBC F5/AS. Fence to extend 2m in height from ground level on the side accessible to the public. Fence chain-link netting to have 50x50mm maximum grid. 2.5m maximum post spacings, and 100mm maximum gap between fence and ground.
 - Inspect site daily and if required provide sediment protection to sumps, install a sandbag bund with spillway to decant escaped runoff.
 - Ensure runoff from accessway does not run off site to footpath.
 - All runoff from stabilized surfaces to be diverted around or away from areas of excavation via stabilized systems such as diversion banks or catch drains.
 - Connect downpipes as soon as practically possible to minimise site runoff.
 - All sediment and erosion controls to be installed prior to commencement of earthworks and in accordance with ECAN "Erosion and sediment control guidelines for small sites".
 - Manage litter and building wastes. Store all hard waste in a way that prevents material loss caused by wind and water. Store smaller materials such as litter in covered bins or mini skips. Retain waste and clean up from "wet trades" into the stormwater system.
 - New landscaping to around new retaining - Refer to separate landscaping plan for all grass and hardscaping selections.



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960



ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

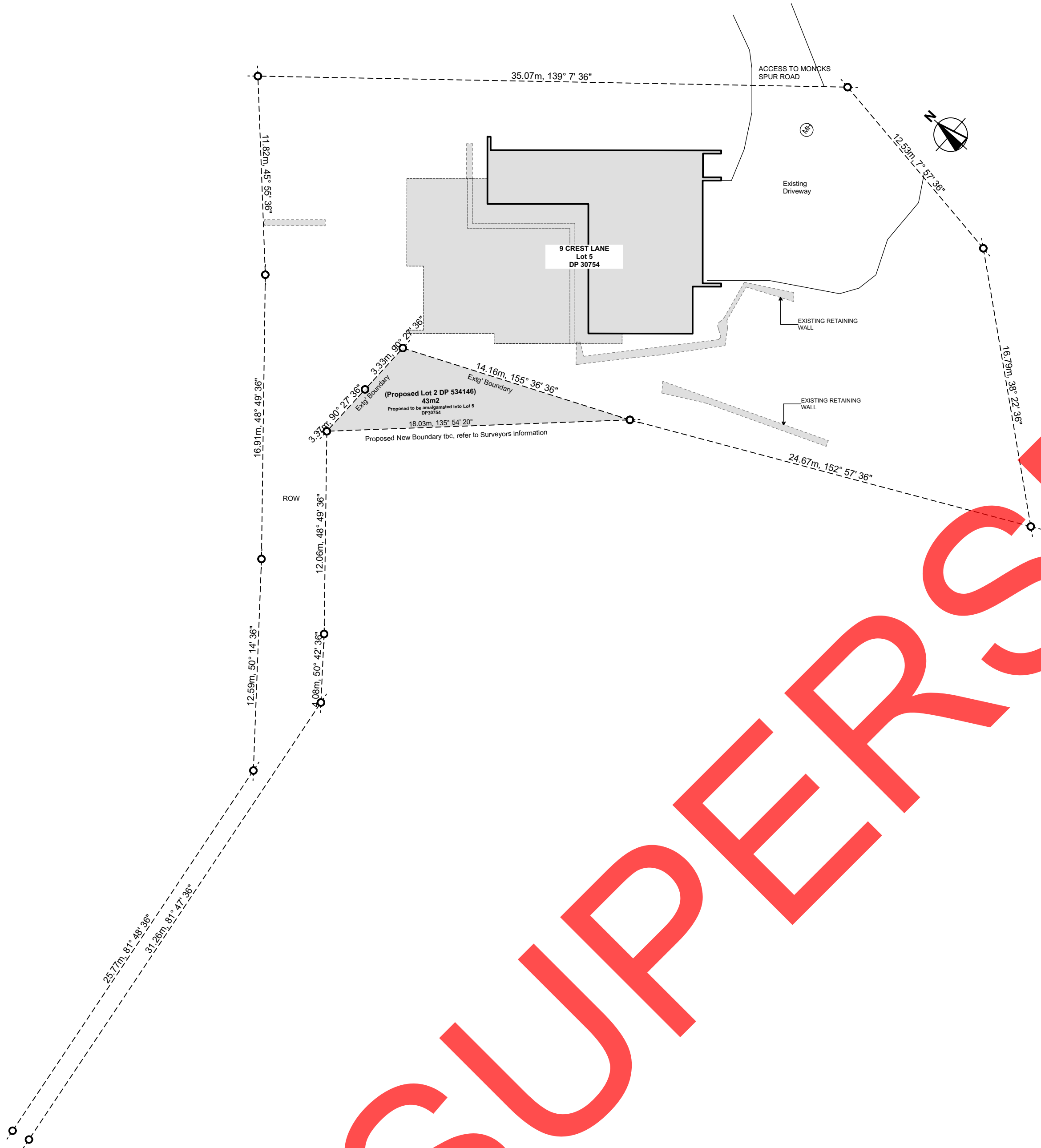
CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

OUTLINE WORKS

DESIGNED	DRAWN	CHECKED	SCALE	JOB NO.	INITIAL	STATUS	DRAWING NO.	REVISION	ISSUED
SD	SD	SD	1:200	12557-197	SD	AMENDMENT G - ARCHITECTURAL SET	L02	G	08/09/2021
							PAGE	4	OF 18

FILE: Z:\125500-12999\12557\12557-197 - 9 Crest Lane- SA17- CAD
12557-197 9 Crest Lane_Reclad 6 12.22.pdf



EXISTING SITE PLAN
1:200



LOCALITY PLAN - NTS

Site Information	
Address:	9 CREST LANE , REDCLIFFS, CHRISTCHURCH
Lot:	5
DP:	30754
Site area:	1004m²
Wind zone:	EXTRA HIGH
EQ zone:	2
Corrosion zone:	Zone C
Snow loading zone:	Nx

SITE LEGEND:	
	Site Boundaries (To be confirmed onsite by Licensed Cadastral Surveyor)
	Existing dwelling - Upper Floor
	Existing dwelling - Lower floor / Foundation
	Existing retaining walls - Refer to new structural plans to determine extent of removal

RevID	Comment	Date
B	New Arch. set issued	08.09.21

Christchurch
City Council

BCN/2015/1435

Approved Building Consent
Document

13/02/2023

Copeland, Robert

Amendment #3

Whangarei
Auckland
Wellington
Christchurch

09 4389 529
09 373 5357
04 472 7282
03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

EXISTING SITE PLAN

DESIGNED		INITIAL	ISSUED
DRAWN		SD	08/09/2021
CHECKED		KP	
		SD	
SCALE		STATUS	
1:200		A3 original AMENDMENT E - ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION
12557-197		L01	B
		PAGE	3 OF 15

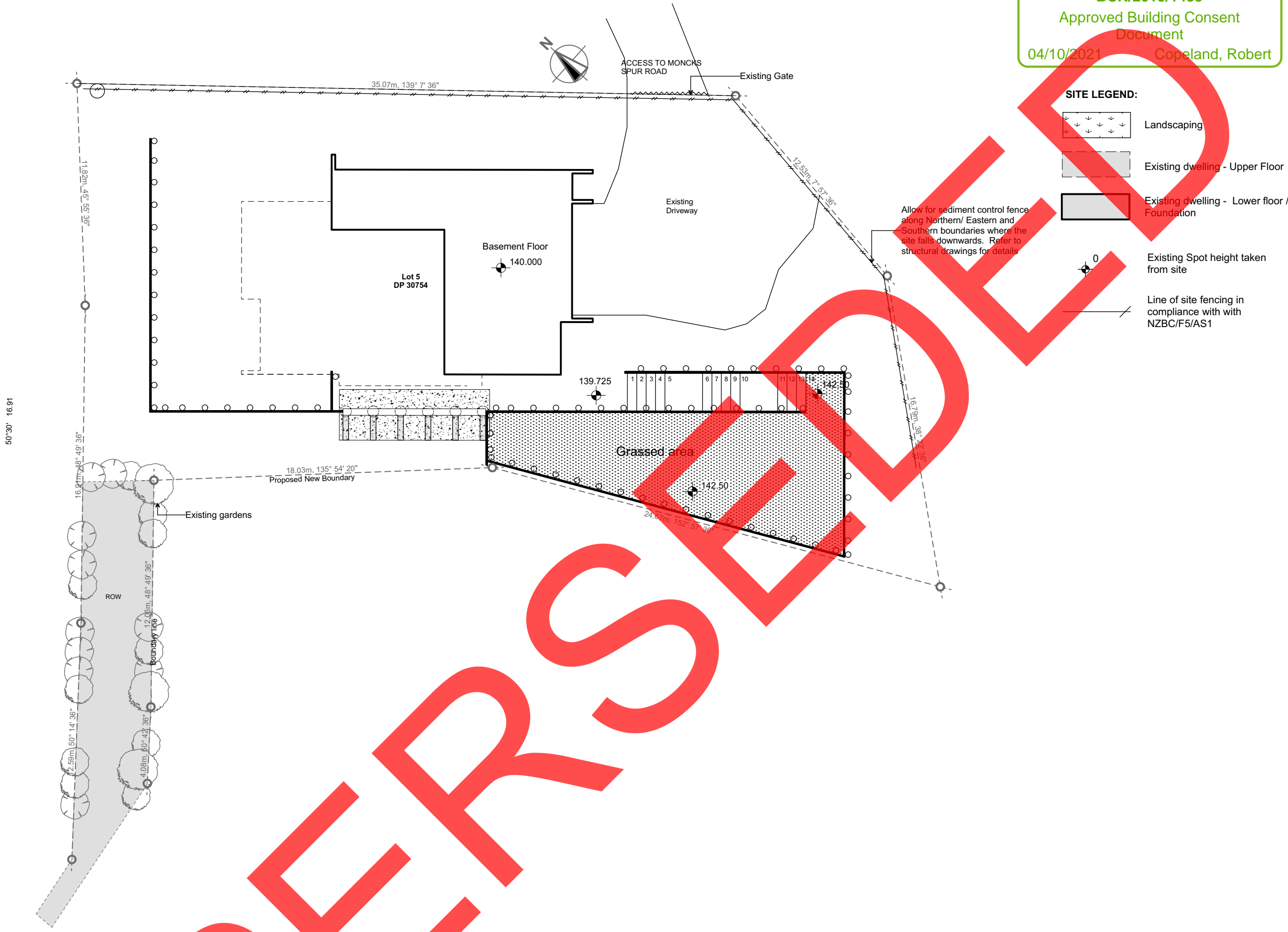
FILE: Z:\12500-12999\12557\12557-197_ 9 Crest Lane- SA\7. CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn

RevID	Comment	Date
B	New Arch. set issued	08.09.21

SITE NOTES:

- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604, NZBC and to good trade practice.
- The contractor is confirm all boundary co-ordinates and dimensions on site prior to construction. A registered professional surveyor or licensed cadastral surveyor to issue a B-081 Building Location Certificate, this is required at council foundation inspection to record retaining wall locations relative to boundaries and easements. Read in conjunction with any site and soil investigations.
- Contractor or builder to verify all dimensions prior to construction.
- Construction area to be fully fenced before commencing construction, all work to comply with NZBC F5/AS. Fence to extend 2m in height from ground level on the side accessible to the public. Fence chain-link netting to have 50x50mm maximum grid. 2.5m maximum post spacings, and 100mm maximum gap between fence and ground.
- Inspect site daily and if required provide sediment protection to sumps, install a sandbag bund with spillway to decant escaped runoff.
- Ensure runoff from accessway does not run off site to footpath.
- All runoff from stabilized surfaces to be diverted around or away from areas of excavation via stabilized systems such as diversion banks or catch drains.
- Connect downpipes as soon as practically possible to minimise site runoff.
- All sediment and erosion controls to be installed prior to commencement of earthworks and in accordance with ECAN "Erosion and sediment control guidelines for small sites".
- Manage litter and building wastes. Store all hard waste in a way that prevents material loss caused by wind and water. Store smaller materials such as litter in covered bins or mini skips. Retain waste and clean up from "wet trades" into the stormwater system.
- New landscaping to around new retaining - Refer to separate landscaping plan for all grass and hardscaping selections.

Amendment #2



LOWER SITE OUTLINE WORKS
1:200



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960
ccl@coco.co.nz
www.coco.co.nz



CLIENT / PROJECT
CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE
OUTLINE WORKS

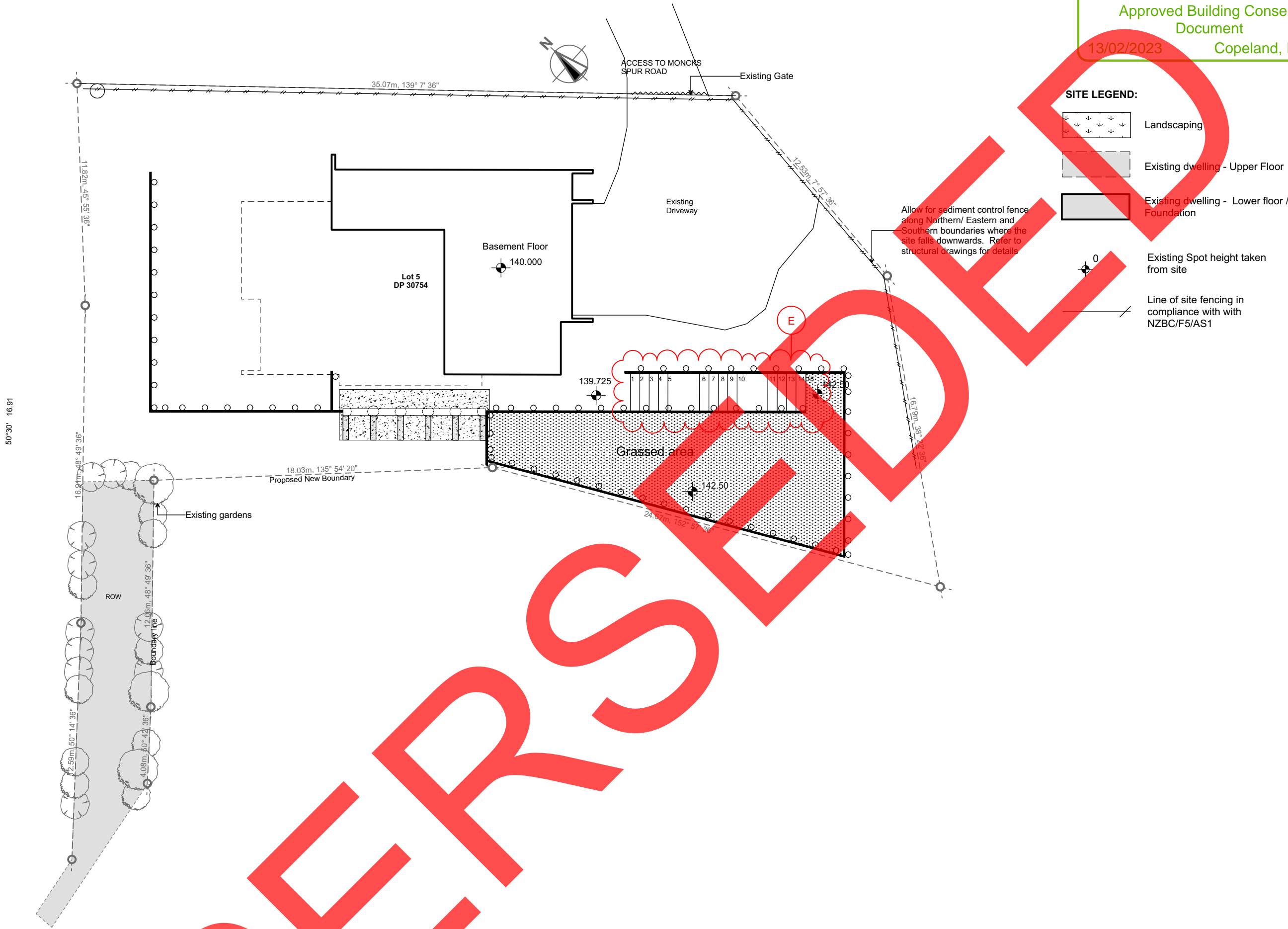
DESIGNED		INITIAL	ISSUED
DRAWN		SD	08/09/2021
CHECKED		KP	
		SD	
SCALE		STATUS A3 original	
1:200		AMENDMENT B - ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION
12557-197		L02	B
		PAGE	4 OF 14

RevID	Comment	Date
B	New Arch. set issued	08.09.21

SITE NOTES:

- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604, NZBC and to good trade practice.
- The contractor is confirm all boundary co-ordinates and dimensions on site prior to construction. A registered professional surveyor or licensed cadastral surveyor to issue a B-081 Building Location Certificate, this is required at council foundation inspection to record retaining wall locations relative to boundaries and easements.
- Read in conjunction with any site and soil investigations.
- Contractor or builder to verify all dimensions prior to construction.
- Construction area to be fully fenced before commencing construction, all work to comply with NZBC F5/AS. Fence to extend 2m in height from ground level on the side accessible to the public. Fence chain-link netting to have 50x50mm maximum grid. 2.5m maximum post spacings, and 100mm maximum gap between fence and ground.
- Inspect site daily and if required provide sediment protection to sumps, install a sandbag bund with spillway to decant escaped runoff.
- Ensure runoff from accessway does not run off site to footpath.
- All runoff from stabilized surfaces to be diverted around or away from areas of excavation via stabilized systems such as diversion banks or catch drains.
- Connect downpipes as soon as practically possible to minimise site runoff.
- All sediment and erosion controls to be installed prior to commencement of earthworks and in accordance with ECAN "Erosion and sediment control guidelines for small sites".
- Manage litter and building wastes. Store all hard waste in a way that prevents material loss caused by wind and water. Store smaller materials such as litter in covered bins or mini skips. Retain waste and clean up from "wet trades" into the stormwater system.
- New landscaping to around new retaining - Refer to separate landscaping plan for all grass and hardscaping selections.

Amendment #3



LOWER SITE OUTLINE WORKS
1:200

cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz



CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

OUTLINE WORKS

DESIGNED		INITIAL	ISSUED
DRAWN		SD	08/09/2021
CHECKED		KP	
SCALE		SD	
1:200			A3 original
JOB NO.		STATUS	
12557-197		AMENDMENT E - ARCHITECTURAL SET	
DRAWING NO.		REVISION	
L02		E	
PAGE		4	OF 16

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7_CAD\12557-197_9 Crest Lane_Reclad 6.12.22.dgn

RevID	Comment	Date
B	New Arch. set issued	08.09.21
C	RFI	23.09.21

Christchurch City Council

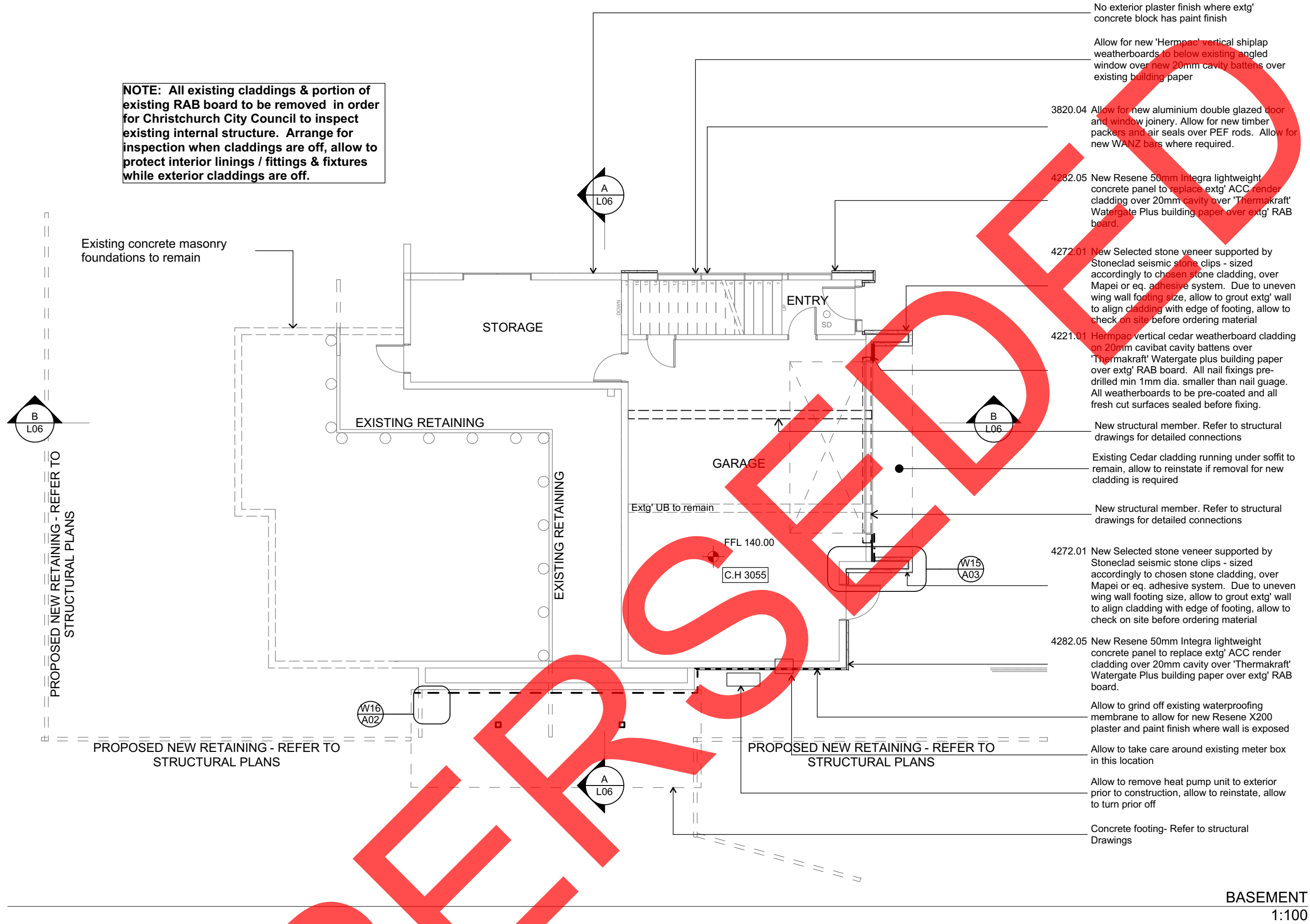
BCN/2015/1435

Approved Building Consent Document

13/02/2023

Copeland, Robert

Page 5 of 38



WALL KEY:	
	Existing timber framed wall
	Existing 20 Series Masonry Wall
	New sand cement plaster directly applied to concrete block
	4282.01 Resene Construction Systems Integra Facade System
	4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.
	4221.01 Hempac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
	4272.01 New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
	Existing smoke alarms min 3m from each bedroom
	Finished Floor Level
	Ceiling height above Finished Floor Level
	New bracing units to be installed after reinstatement of window and door joinery. Ref to Engineers calculations for additional information.

- NOTES:**
- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604 2011.
 - All exterior cladding to be removed. This includes existing cedar/ existing Enduron ACC panel and existing 'Eldorado' stone veneer.
 - All existing RAB board to remain to be lined with 'Thermakraft' Watergate plus building paper, all butynol membranes located on the gutter and on the first floor balcony to be removed.
 - Where applicable, items that are salvageable are to be re-used. Where this is not possible, all existing cladding, plywood substrates, soffit linings are to be new. Note: Warranties must be provided.
 - Refer to Cook Costello Structural drawings for all work to retaining walls/ decking structure and new steel structure to be installed in the garage.
 - All flexible flashing tape to be 'Thermakraft' Thermaflash high adhesion flashing tape & all continuous air seals to be 3M Polyurethane Sealant 540.
 - All existing door and window joinery to be removed and replaced with new aluminium double glazed joinery, all WANZ support bars to be examined for any defects and replaced if required.
 - All interior waterproofed areas to have extg' tiles and waterproofing and substrates removed, allow to fit new plywood substrates, Ardex waterproofing and new tiling. Refer to interior details
 - Decking to be no less than 19mm thickness as per 7.4.3 in NZS3604 with joists no less than 450 ctrs apart.
 - Allow to remove and keep good fixtures attached to the cladding, all electrical items, lights etc, allow to turn off electricity before removal.
 - Check extg' hot water systems, allow to remove and reinstate as required for reclad

cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

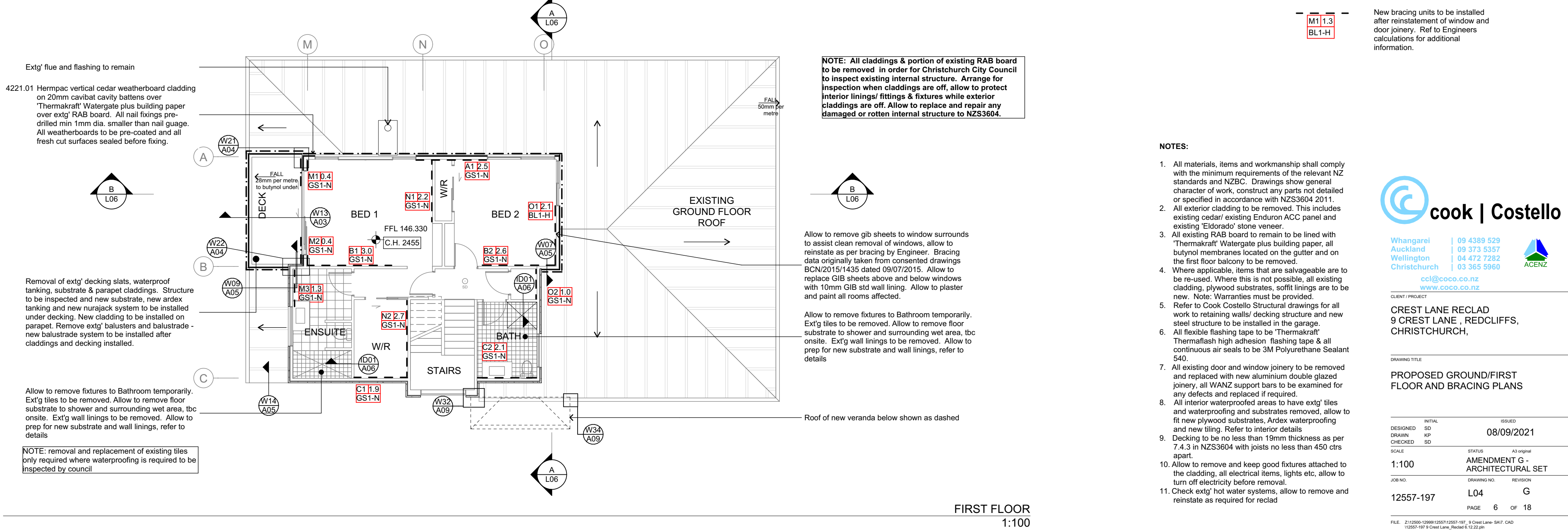
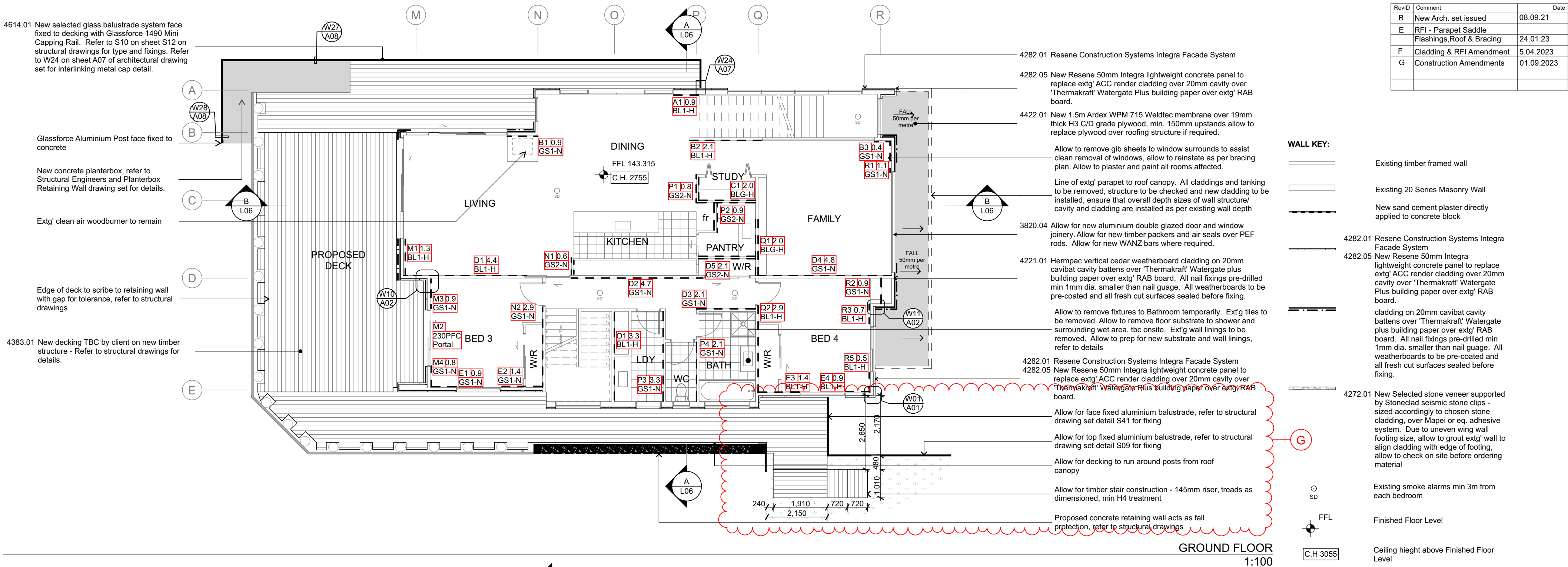
CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

PROPOSED BASEMENT PLAN

DESIGNED		ISSUED	
DRAWN	SD	23/09/2021	
CHECKED	KP		
	SD		
SCALE		STATUS	
1:100		A3 original AMENDMENT E - ARCHITECTURAL SET	
JOB NO.		REVISION	
12557-197		L03 C	
		PAGE 5 OF 15	

FILE: Z:\12500-12999\12557\12557-197_ 9 Crest Lane- SA\7_CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn



NOTES:

- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604 2011.
- All exterior cladding to be removed. This includes existing cedar/ existing Enduron ACC panel and existing 'Eldorado' stone veneer.
- All existing RAB board to remain to be lined with 'Thermakraft' Watergate plus building paper, all butynol membranes located on the gutter and on the first floor balcony to be removed.
- Where applicable, items that are salvageable are to be re-used. Where this is not possible, all existing cladding, plywood substrates, soffit linings are to be new. Note: Warranties must be provided.
- Refer to Cook Costello Structural drawings for all work to retaining walls/ decking structure and new steel structure to be installed in the garage.
- All flexible flashing tape to be 'Thermakraft' Thermaflash high adhesion flashing tape & all continuous air seals to be 3M Polyurethane Sealant 540.
- All existing door and window joinery to be removed and replaced with new aluminium double glazed joinery, all WNZ support bars to be examined for any defects and replaced if required.
- All interior waterproofed areas to have extg' tiles and waterproofing and substrates removed, allow to fit new plywood substrates, Ardex waterproofing and new tiling. Refer to interior details
- Decking to be no less than 19mm thickness as per 7.4.3 in NZS3604 with joists no less than 450 ctrs apart.
- Allow to remove and keep good fixtures attached to the cladding, all electrical items, lights etc. allow to turn off electricity before removal.
- Check extg' hot water systems, allow to remove and reinstate as required for reclad



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960



ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

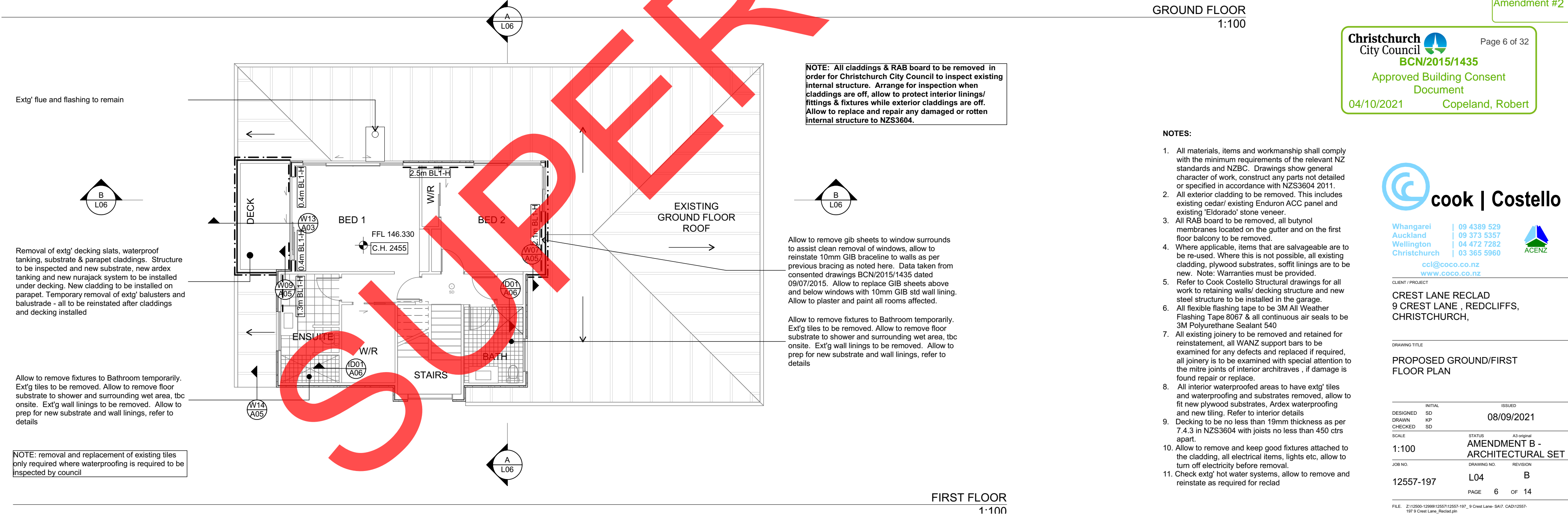
CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

PROPOSED GROUND/FIRST
FLOOR AND BRACING PLANS

DESIGNED		INITIAL		ISSUED	
SD		SD		08/09/2021	
DRAWN		KP			
CHECKED		SD			
SCALE		STATUS		A3 original	
1:100		AMENDMENT G -		ARCHITECTURAL SET	
JOB NO.		DRAWING NO.		REVISION	
12557-197		L04		G	
		PAGE		6 OF 18	

FILE: Z:\12550-12999\12557\12557-197 - 9 Crest Lane- SA17- CAD
12557-197 9 Crest Lane_Reclad 6.12.22.dgn



Amendment #2

Christchurch City Council
BCN/2015/1435
Approved Building Consent Document
04/10/2021 Copeland, Robert

Page 6 of 32

cook | Costello

Whangarei Auckland Wellington Christchurch

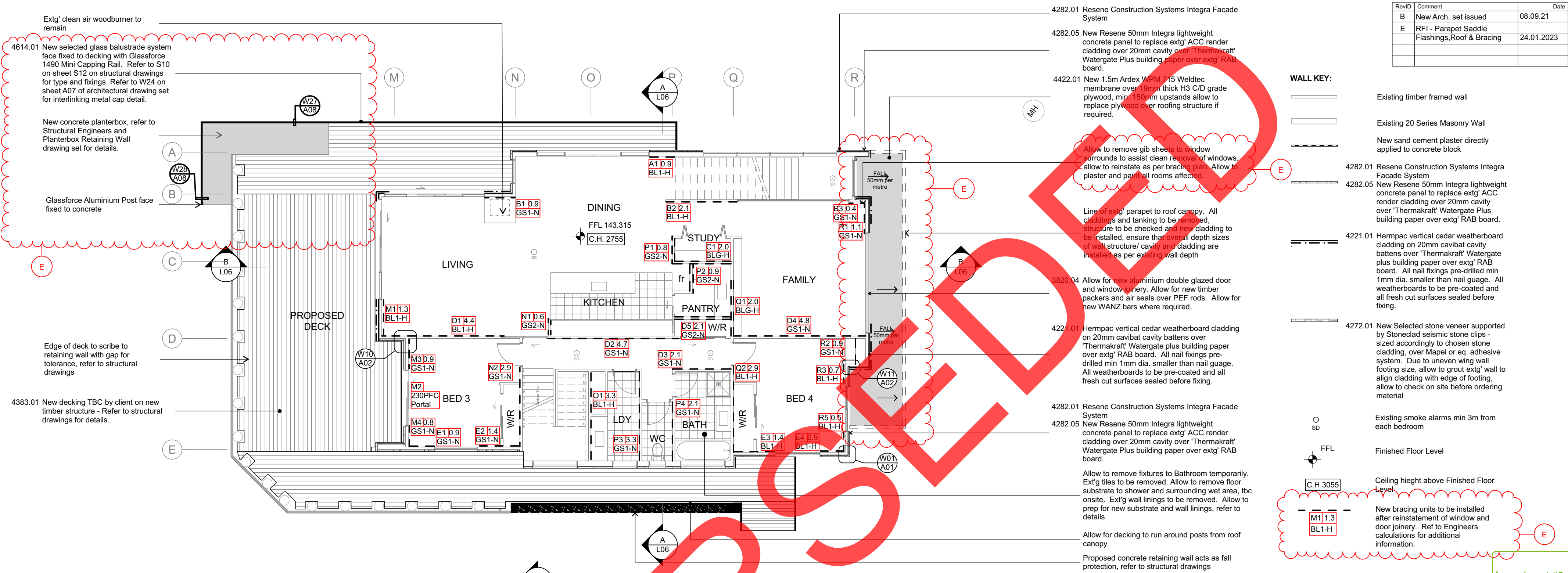
09 4389 529 09 373 5357 04 472 7282 03 365 5960

ccl@coco.co.nz www.coco.co.nz

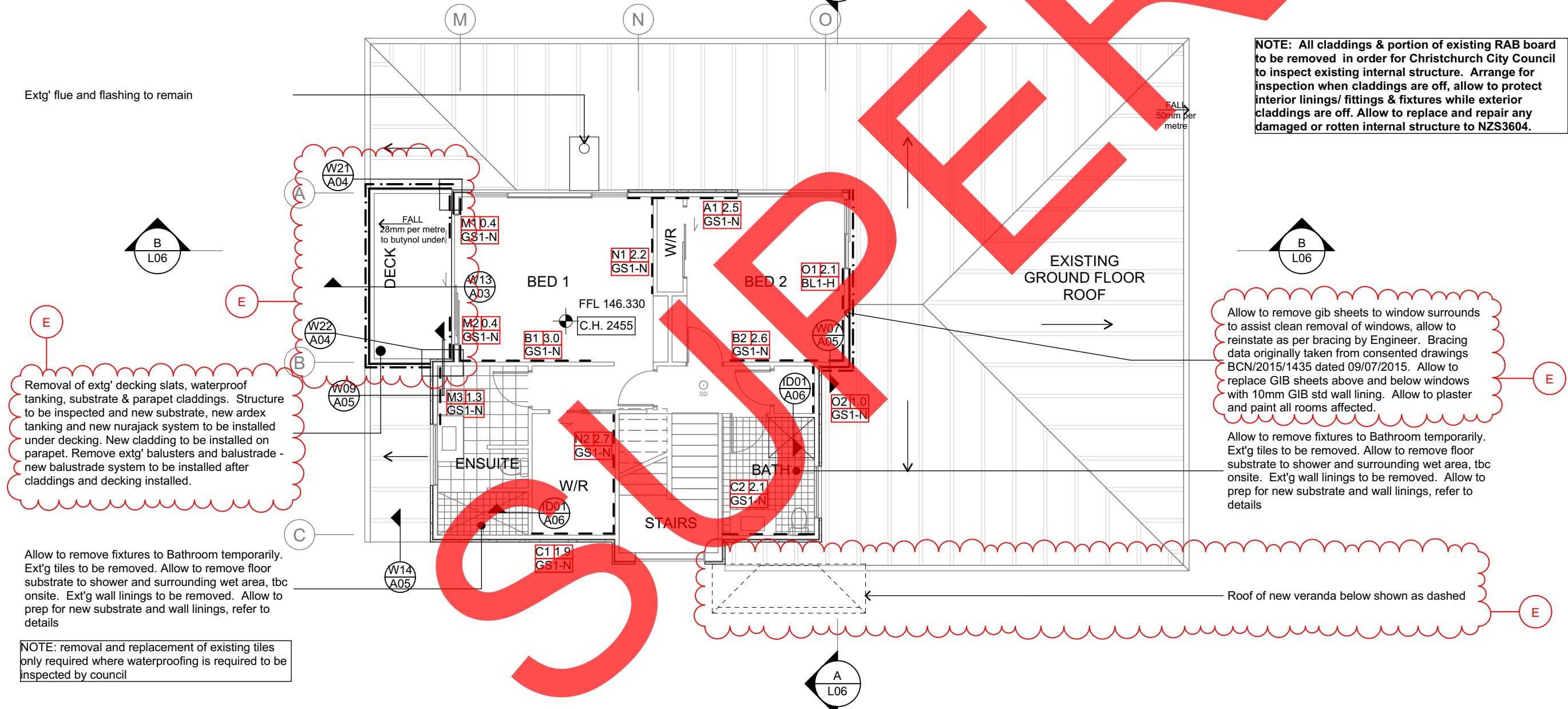
CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE		
PROPOSED GROUND/FIRST FLOOR PLAN		
DESIGNED	SD	ISSUED
DRAWN	KP	08/09/2021
CHECKED	SD	
SCALE	STATUS	
1:100	AMENDMENT B - ARCHITECTURAL SET	
JOB NO.	DRAWING NO.	REVISION
12557-197	L04	B
	PAGE	6 OF 14



GROUND FLOOR
1:100



FIRST FLOOR
1:100

RevID	Comment	Date
B	New Arch. set issued	08.09.21
E	RF1 - Parapet Saddle	
	Flashings, Roof & Bracing	24.01.2023

- WALL KEY:**
- Existing timber framed wall
 - Existing 20 Series Masonry Wall
 - New sand cement plaster directly applied to concrete block
 - 4282.01 Resene Construction Systems Integra Facade System
 - 4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watertight Plus building paper over extg' RAB board.
 - 4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watertight plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
 - 4272.01 New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
 - Existing smoke alarms min 3m from each bedroom
 - Finished Floor Level
 - Ceiling hieght above Finished Floor Level
 - New bracing units to be installed after reinstatement of window and door joinery. Ref to Engineers calculations for additional information.

Amendment #3

Christchurch City Council

BCN/2015/1435

Approved Building Consent Document

13/02/2023

Copeland, Robert

Page 6 of 38

NOTES:

- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604 2011.
- All exterior cladding to be removed. This includes existing cedar/ existing Enduron ACC panel and existing 'Eldorado' stone veneer.
- All existing RAB board to remain to be lined with 'Thermakraft' Watertight plus building paper, all butynol membranes located on the gutter and on the first floor balcony to be removed.
- Where applicable, items that are salvageable are to be re-used. Where this is not possible, all existing cladding, plywood substrates, soffit linings are to be new. Note: Warranties must be provided.
- Refer to Cook Costello Structural drawings for all work to retaining walls/ decking structure and new steel structure to be installed in the garage.
- All flexible flashing tape to be 'Thermakraft' Thermaflex high adhesion flashing tape & all continuous air seals to be 3M Polyurethane Sealant 540.
- All existing door and window joinery to be removed and replaced with new aluminium double glazed joinery, all WANZ support bars to be examined for any defects and replaced if required.
- All interior waterproofed areas to have extg' tiles and waterproofing and substrates removed, allow to fit new plywood substrates, Ardex waterproofing and new tiling. Refer to interior details
- Decking to be no less than 19mm thickness as per 7.4.3 in NZS3604 with joists no less than 450 ctrs apart.
- Allow to remove and keep good fixtures attached to the cladding, all electrical items, lights etc, allow to turn off electricity before removal.
- Check extg' hot water systems, allow to remove and reinstate as required for reclad

cook | Costello

Whangarei Auckland Wellington Christchurch

09 4389 529 09 373 5357 04 472 7282 03 365 5960

ccl@coco.co.nz www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD 9 CREST LANE, REDCLIFFS, CHRISTCHURCH,

DRAWING TITLE

PROPOSED GROUND/FIRST FLOOR AND BRACING PLANS

DESIGNED	CHECKED	SCALE	JOB NO.	12557-197
SD	SD	1:100		
ISSUED	STATUS	DRAWING NO.	REVISION	
08/09/2021	A3 original	AMENDMENT E - ARCHITECTURAL SET	E	
		L04	6	OF 16

FILE: Z:\12500-12999\12557\12557-197 - 9 Crest Lane- SA77 CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn

Extg' clean air woodburner to remain

4614.01 New selected glass balustrade system face fixed to decking with Glassforce 1490 Mini Capping Rail. Refer to S10 on sheet S12 on structural drawings for type and fixings. Refer to W24 on sheet A07 of architectural drawing set for interlinking metal cap detail.

New concrete planterbox, refer to Structural Engineers and Planterbox Retaining Wall drawing set for details.

Glassforce Aluminium Post face fixed to concrete

Edge of deck to scribe to retaining wall with gap for tolerance, refer to structural drawings

4383.01 New decking TBC by client on new timber structure - Refer to structural drawings for details.

4282.01 Resene Construction Systems Integra Facade System

4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.

4422.01 New 1.5m Ardex WPM 715 Weldtec membrane over 19mm thick H3 C/D grade plywood, min. 150mm upstands allow to replace plywood over roofing structure if required.

Allow to remove gib sheets to window surrounds to assist clean removal of windows, allow to reinstate as per bracing plan. Allow to plaster and paint all rooms affected.

Line of extg' parapet to roof canopy. All claddings and tanking to be removed, structure to be checked and new cladding to be installed, ensure that overall depth sizes of wall structure/ cavity and cladding are installed as per existing wall depth

3820.04 Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WNZ bars where required.

4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

4282.01 Resene Construction Systems Integra Facade System
4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.

Allow to remove fixtures to Bathroom temporarily. Ext'g tiles to be removed. Allow to remove floor substrate to shower and surrounding wet area, tbc onsite. Ext'g wall linings to be removed. Allow to prep for new substrate and wall linings, refer to details

Allow for decking to run around posts from roof canopy
Proposed concrete retaining wall acts as fall protection, refer to structural drawings

WALL KEY:

- Existing timber framed wall
- Existing 20 Series Masonry Wall
- New sand cement plaster directly applied to concrete block
- 4282.01 Resene Construction Systems Integra Facade System
- 4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.
- 4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4272.01 New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- Existing smoke alarms min 3m from each bedroom
- Finished Floor Level
- Ceiling hieght above Finished Floor Level
- New bracing units to be installed after reinstatement of window and door joinery. Ref to Engineers calculations for additional information.

Amendment #4

GROUND FLOOR
1:100

NOTE: All claddings & portion of existing RAB board to be removed in order for Christchurch City Council to inspect existing internal structure. Arrange for inspection when claddings are off, allow to protect interior linings/ fittings & fixtures while exterior claddings are off. Allow to replace and repair any damaged or rotten internal structure to NZS3604.

NOTES:

- All materials, items and workmanship shall comply with the minimum requirements of the relevant NZ standards and NZBC. Drawings show general character of work, construct any parts not detailed or specified in accordance with NZS3604 2011.
- All exterior cladding to be removed. This includes existing cedar/ existing Enduron ACC panel and existing 'Eldorado' stone veneer.
- All existing RAB board to remain to be lined with 'Thermakraft' Watergate plus building paper, all butynol membranes located on the gutter and on the first floor balcony to be removed.
- Where applicable, items that are salvageable are to be re-used. Where this is not possible, all existing cladding, plywood substrates, soffit linings are to be new. Note: Warranties must be provided.
- Refer to Cook Costello Structural drawings for all work to retaining walls/ decking structure and new steel structure to be installed in the garage.
- All flexible flashing tape to be 'Thermakraft' Thermaflex high adhesion flashing tape & all continuous air seals to be 3M Polyurethane Sealant 540.
- All existing door and window joinery to be removed and replaced with new aluminium double glazed joinery, all WNZ support bars to be examined for any defects and replaced if required.
- All interior waterproofed areas to have extg' tiles and waterproofing and substrates removed, allow to fit new plywood substrates, Ardex waterproofing and new tiling. Refer to interior details
- Decking to be no less than 19mm thickness as per 7.4.3 in NZS3604 with joists no less than 450 ctrs apart.
- Allow to remove and keep good fixtures attached to the cladding, all electrical items, lights etc, allow to turn off electricity before removal.
- Check extg' hot water systems, allow to remove and reinstate as required for reclad

cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960
ccl@coco.co.nz
www.coco.co.nz



CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE
PROPOSED GROUND/FIRST
FLOOR AND BRACING PLANS

DESIGNED	SD	ISSUED
DRAWN	KP	08/09/2021
CHECKED	SD	
SCALE		STATUS A3 original
1:100		AMENDMENT F - ARCHITECTURAL SET
JOB NO.	DRAWING NO.	REVISION
12557-197	L04	F
	PAGE	6 OF 17

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA17_CAD\12557-197_9 Crest Lane_Reclad 6.12.22.dgn

FIRST FLOOR
1:100

Notes

3 Structure

- 3820.01 **125 TIMBER POSTS**
New 125 x 125mm H3.2 timber post to roof canopy - Refer to structural drawings for detailing
- 3820.04 **ALUMINIUM JOINERY**
Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WANZ bars where required.

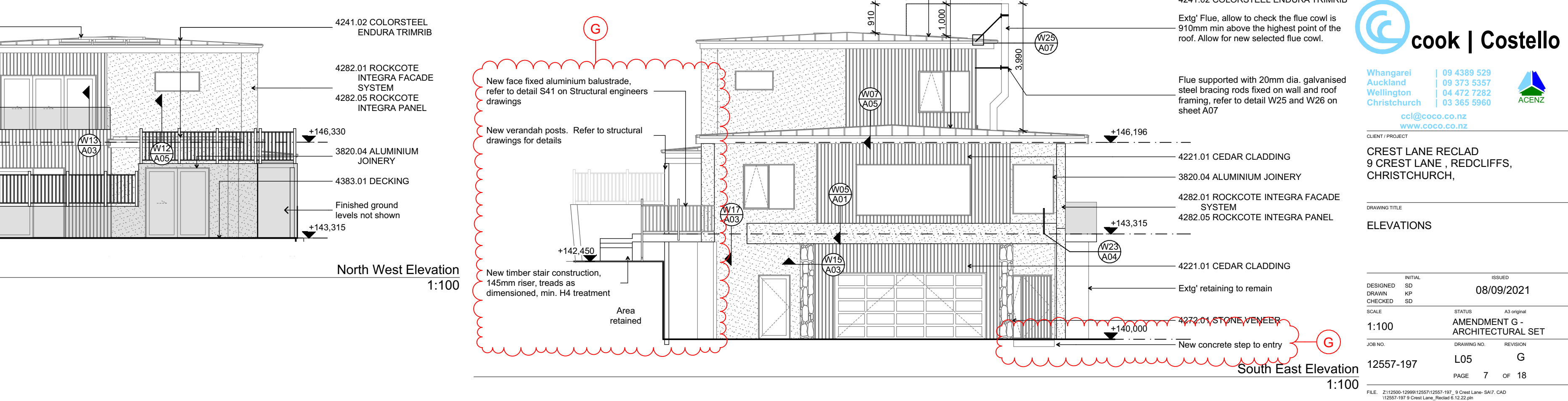
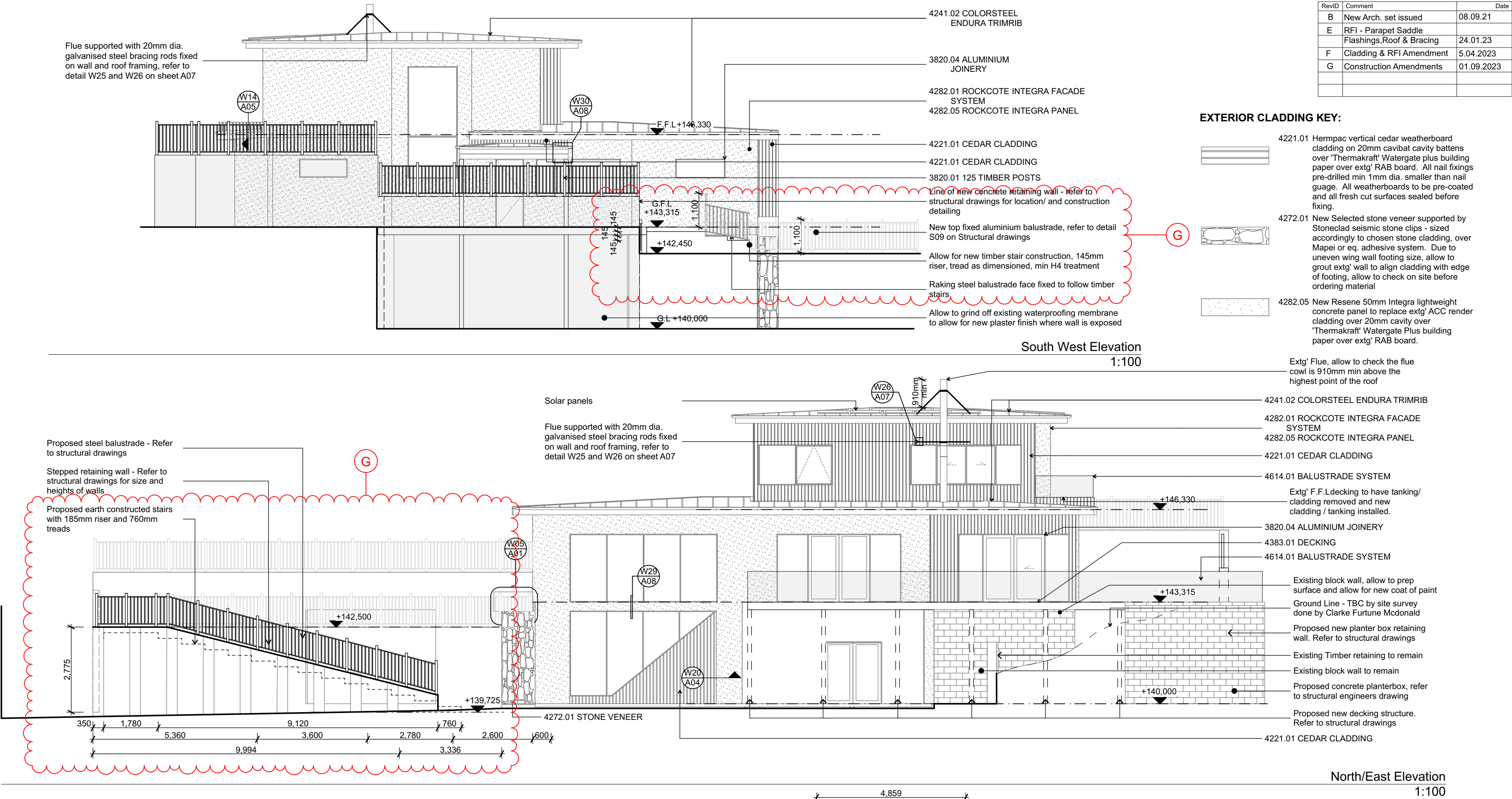
4 Enclosure

- 4221.01 **CEDAR CLADDING**
Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4241.02 **COLORSTEEL ENDURA TRIMRIB**
Allow for new Colorsteel Endura Trimrib roofing to replace existing.
- 4272.01 **STONE VENEER**
Selected new natural shist stone 35-40mm thick, weight approx. 80kg/m² supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei adhesive system. Due to uneven wing wall footing size, allow to block extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- 4282.01 **ROCKCOTE INTEGRA FACADE SYSTEM**
Resene Construction Systems Integra Facade System
- 4282.05 **ROCKCOTE INTEGRA PANEL**
New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.
- 4383.01 **DECKING**
New decking TBC by client on new timber structure - Refer to structural drawings for details.
- 4614.01 **BALUSTRADE SYSTEM**
New selected glass balustrade system face fixed to decking with Glassforce 1490 Mini Capping Rail. Refer to S10 on sheet S12 on structural drawings for type and fixings. Refer to W24 on sheet A07 of architectural drawing set for interlinking metal cap detail.

RevID	Comment	Date
B	New Arch. set issued	08.09.21
E	RFI - Parapet Saddle	
	Flashings, Roof & Bracing	24.01.23
F	Cladding & RFI Amendment	5.04.2023
G	Construction Amendments	01.09.2023

EXTERIOR CLADDING KEY:

- 4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4272.01 New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- 4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.



cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

ELEVATIONS

DESIGNED	SD	INITIAL	ISSUED
DRAWN	KP		08/09/2021
CHECKED	SD		
SCALE		STATUS	A3 original
1:100		AMENDMENT G -	ARCHITECTURAL SET
JOB NO.	DRAWING NO.	REVISION	
12557-197	L05	G	
	PAGE	7	OF 18

FILE: Z:\12550-12999\12557\12557-197 - 9 Crest Lane- SA17 CAD
12557-197 9 Crest Lane_Reclad 6 12.22.jpg

Notes

- 3

Structure
- 3820.01

125 TIMBER POSTS
New 125 x 125mm H3.2 timber post to roof canopy - Refer to structural drawings for detailing
- 3820.03

EXISTING ROOFING
Existing roof to remain. Allow to remove gutters to allow for new 30mm thick cedar fascia boards. Allow to install new soffits and cladding. Reinstall gutters and make good.
- 3820.04

ALUMINIUM JOINERY
All extg' aluminium joinery to be temporarily removed to allow for new RAB and cladding insulation. Reinstall with new timber packers and air seals over PEF rods. Check all WNZ bars for failures and all interior trims for cracked mitres and allow to make good/replace

- 4

Enclosure
- 4221.01

CEDAR CLADDING
Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4272.01

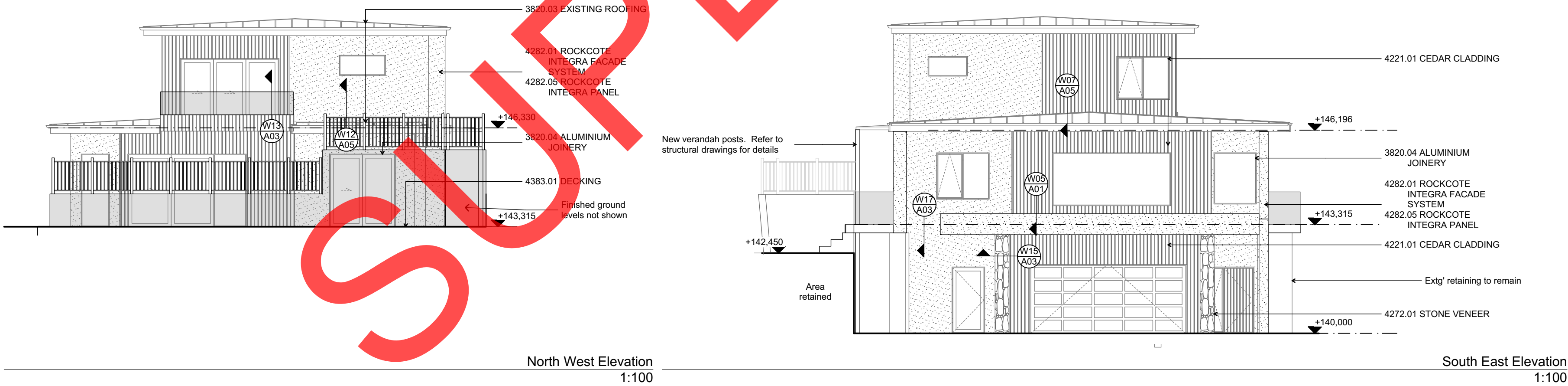
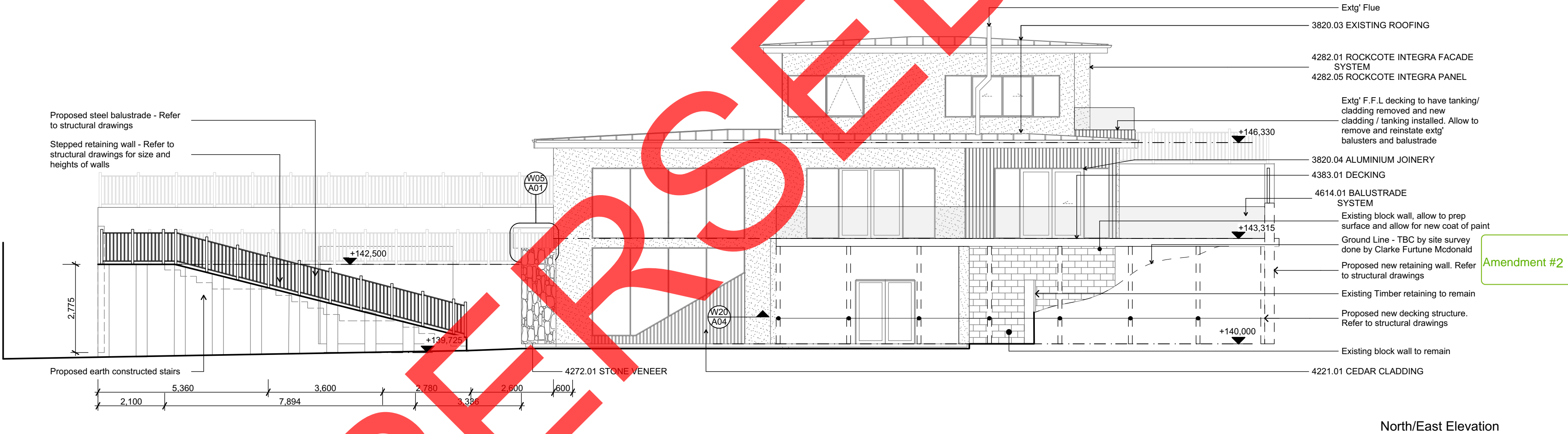
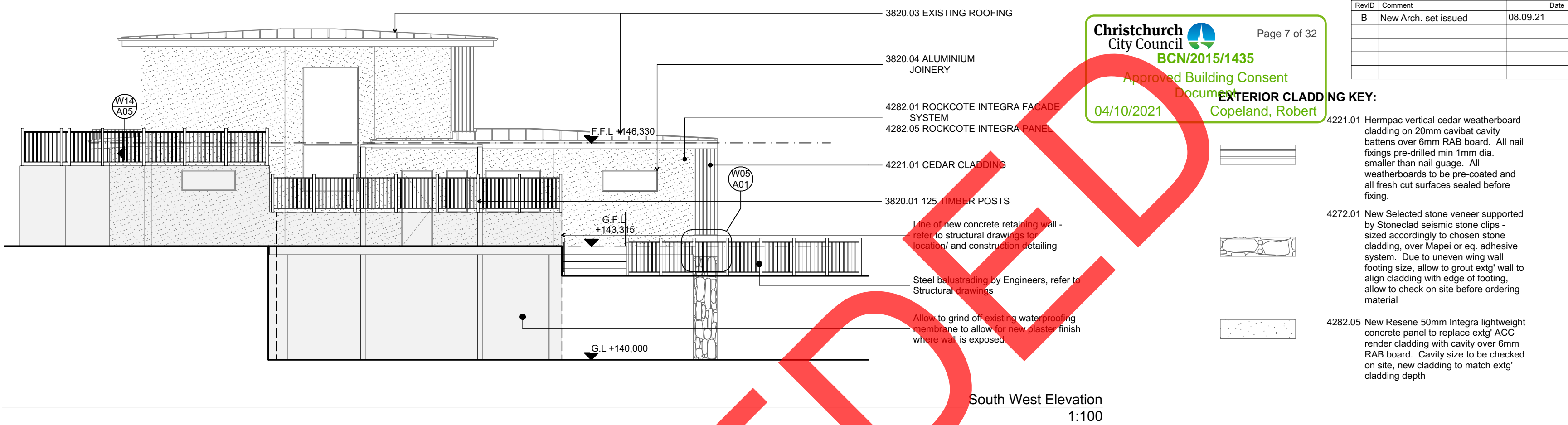
STONE VENEER
New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- 4282.01

ROCKCOTE INTEGRA FACADE SYSTEM
Resene Construction Systems Integra Facade System
- 4282.05

ROCKCOTE INTEGRA PANEL
New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth
- 4383.01

DECKING
New decking TBC by client on new timber structure - Refer to structural drawings for details.
- 4614.01

BALUSTRADE SYSTEM
New selected glass balustrade system face fixed to decking. Refer to structural drawings for type and fixings.



North/East Elevation
1:100

cook | Costello

Whangarei
Auckland
Wellington
Christchurch

09 4389 529
09 373 5357
04 472 7282
03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

ELEVATIONS

DESIGNED
DRAWN
CHECKED

SD
KP
SD

INITIAL

ISSUED
08/09/2021

SCALE
1:100

STATUS
AMENDMENT B -
ARCHITECTURAL SET

JOB NO.
12557-197

DRAWING NO.
L05

REVISION
B

PAGE
7

OF
14

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7 CAD\12557-197 9 Crest Lane_Reclad.dgn

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7 CAD\12557-197 9 Crest Lane_Reclad.dgn

Notes

3 Structure

- 3820.01 **125 TIMBER POSTS**
New 125 x 125mm H3.2 timber post to roof canopy - Refer to structural drawings for detailing
- 3820.04 **ALUMINIUM JOINERY**
Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WANZ bars where required.

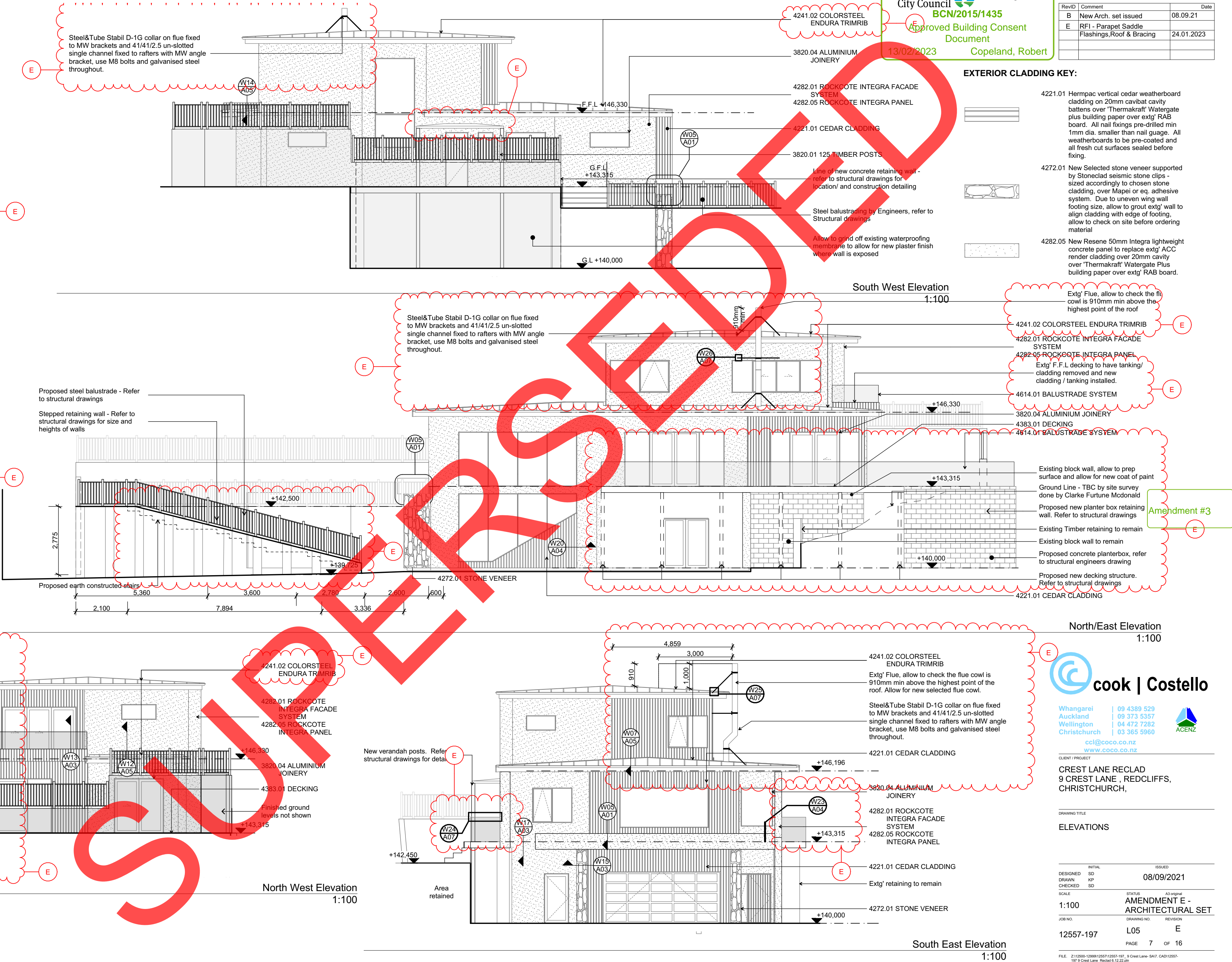
4 Enclosure

- 4221.01 **CEDAR CLADDING**
Hempac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watgate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4241.02 **COLORSTEEL ENDURA TRIMRIB**
Allow for new Colorsteel Endura Trimrib roofing to replace existing.
- 4272.01 **STONE VENEER**
New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- 4282.01 **ROCKCOTE INTEGRA FACADE SYSTEM**
Resene Construction Systems Integra Facade System
- 4282.05 **ROCKCOTE INTEGRA PANEL**
New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watgate Plus building paper over extg' RAB board.
- 4383.01 **DECKING**
New decking TBC by client on new timber structure - Refer to structural drawings for details.
- 4614.01 **BALUSTRADE SYSTEM**
New selected glass balustrade system face fixed to decking with Glassforce 1490 Mini Capping Rail. Refer to S10 on sheet S12 on structural drawings for type and fixings. Refer to W24 on sheet A07 of architectural drawing set for interlinking metal cap detail.

RevID	Comment	Date
B	New Arch. set issued	08.09.21
E	RFI - Parapet Saddle Flashings, Roof & Bracing	24.01.2023

EXTERIOR CLADDING KEY:

- 4221.01 Hempac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watgate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4272.01 New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- 4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watgate Plus building paper over extg' RAB board.



Amendment #3

North/East Elevation
1:100

cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960
ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

ELEVATIONS

DESIGNED	SD	INITIAL	ISSUED
CHECKED	SD	KP	08/09/2021

SCALE

1:100

JOB NO.

12557-197

STATUS

AMENDMENT E -
ARCHITECTURAL SET

DRAWING NO.

L05

REVISION

E

PAGE 7 OF 16

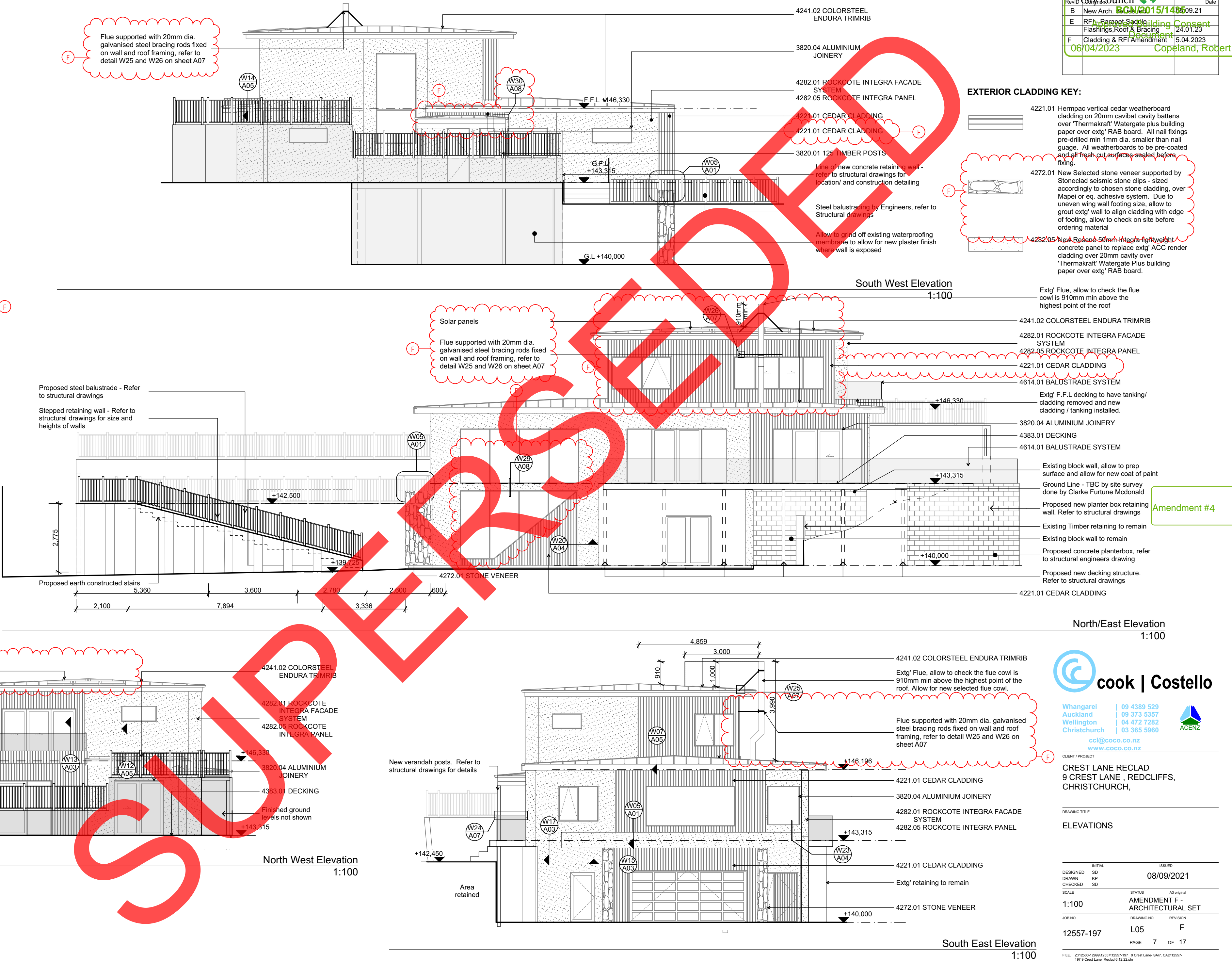
FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7_CAD\12557-197_9 Crest Lane_Reclad 6.12.22.dgn

Notes

- 3 Structure**
- 125 TIMBER POSTS**
New 125 x 125mm H3.2 timber post to roof canopy - Refer to structural drawings for detailing
- 3820.04 ALUMINIUM JOINERY**
Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WANZ bars where required.

- 4 Enclosure**
- 4221.01 CEDAR CLADDING**
Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4241.02 COLORSTEEL ENDURA TRIMRIB**
Allow for new Colorsteel Endura Trimrib to replace existing.
- 4272.01 STONE VENEER**
Selected new natural shist stone 35-40mm thick, weight approx. 80kg/m² supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei adhesive system. Due to uneven wing wall footing size, allow to block extg' wall to align cladding with edge of footing, allow to check on site before ordering material
- 4282.01 ROCKCOTE INTEGRA FACADE SYSTEM**
Resene Construction Systems Integra Facade System
- 4282.05 ROCKCOTE INTEGRA PANEL**
New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.
- 4383.01 DECKING**
New decking TBC by client on new timber structure - Refer to structural drawings for details.
- 4614.01 BALUSTRADE SYSTEM**
New selected glass balustrade system face fixed to decking with Glassforce 1490 Mini Capping Rail. Refer to S10 on sheet S12 on structural drawings for type and fixings. Refer to W24 on sheet A07 of architectural drawing set for interlinking metal cap detail.

Christchurch City Council		Page 3 of 18
Revised	Date	
B New Arch.	08/09/2021	
E RFI Panel Building Consent	24.01.23	
F Flashings, Roof & Bracing	5.04.2023	
F Cladding & RFI Amendment	06/04/2023	
Copeland, Robert		



cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

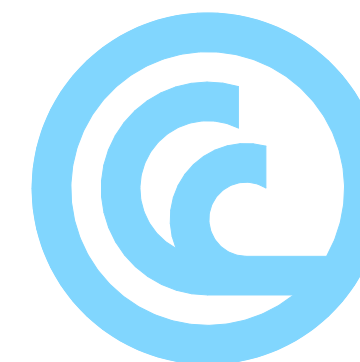
CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

ELEVATIONS

DESIGNED		SD	ISSUED	
DRAWN		KP	08/09/2021	
CHECKED		SD		
SCALE			STATUS	A3 original
1:100			AMENDMENT F -	
			ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION	
12557-197		L05	F	
		PAGE	7	OF 17

FILE: Z:\12550-12999\12557\12557-197 - 9 Crest Lane- SA77 CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn



CREST LANE RECLAD FOR CUBE CONTRACTING 9 CREST LANE , REDCLIFFS, CHRISTCHURCH

JOB NO:12557-197
DATE : 29/03/2023
ISSUE:BUILDING CONSENT
STATUS:AMENDMENT F -
ARCHITECTURAL SET

THIS SET OF DRAWINGS IS FOR A FULL RECLAD AND WATERPROOFING OF AN EXISTING RESIDENTIAL BUILDING WHICH DID NOT OBTAIN CODE OF COMPLIANCE WHEN IT WAS REBUILT IN 2015 AS AN EARTHQUAKE REBUILD. THIS NEW SET HAS BEEN ISSUED STARTING AT REVISION B.

THE EXISTING BUILDING TO BE CHECKED FOR WALL FRAMING BEING COMPLIANT TO NZS3604 WHILE CLADDINGS ARE OFF.

PLEASE REFER TO SEPARATE STRUCTURAL DRAWINGS FOR INITIAL WORKS.

REFER BCN/2015/1435

ID	REV	LAYOUT NAME
L01	B	EXISTING SITE PLAN
L02	E	OUTLINE WORKS
L03	C	PROPOSED BASEMENT PLAN
L04	F	PROPOSED GROUND/FIRST FLOOR AND BRACING PLANS
L05	F	ELEVATIONS
L06	F	CROSS SECTION & ROOF PLAN
A01	F	WEATHERTIGHT DETAILS
A02	E	WEATHERTIGHT DETAILS
A03	F	WEATHERTIGHT DETAILS
A04	F	WEATHERTIGHT DETAILS
A05	E	ROOF DETAILS
A06	C	PLUMBING DETAILS
A07	F	SADDLE FLASHING DETAILS
A08	F	DETAILS
A09	F	ROOF DETAILS

DISCLAIMER

1. Written dimensions take precedence.
2. These drawings shall be read in conjunction with relevant consultants, drawings and specifications.
3. Construction practice shall be in accordance with NZS 3604 and the NZ Building Code.
4. The Contractor shall check and verify all dimensions on site. Any discrepancy shall be referred to Architectural Office of Cook Costello.
5. These drawings and design are copyright and remain the property of Cook Costello.

IMPORTANT NOTE: PRODUCER STATEMENTS

PS4 WILL NOT BE ISSUED AT COMPLETION OF WORKS UNLESS ALL REQUIRED TESTS AND INSPECTIONS HAVE BEEN NOTIFIED TO COOK COSTELLO AND COMPLETED DURING CONSTRUCTION

Notes

3	Structure	4821.04	colour to match joinery. BACK FLASHING 0.55mm BMT backflashing flashing to extend 50mm each behind claddings
3820.01	125 TIMBER POSTS New 125 x 125mm H3.2 timber post to roof canopy - Refer to structural drawings for detailing		
3820.02	EXISTING WALL Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate as per bracing plan	5	Interior
3820.04	ALUMINIUM JOINERY Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WANZ bars where required.	5113.02	PLASTERBOARD WALL LINING Wet Area - 13mm GIB Aqualine plasterboard lining, prep for L4 finish Standard - 10mm GIB standard plasterboard lining, prep for L4 finish. Braceline - 10mm GIB braceline plasterboard lining, prep for L4 finish. Allow to fix for bracing where required

4	Enclosure		
4161.01	WINDOW FLASHING TAPE 'Thermakraft' Thermaflash high adhesion flashing tape installed down into flashing		
4221.01	CEDAR CLADDING Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.		
4239.01	SOFFIT LININGS Allow to retain existing soffit linings and soffit framing, replace broken sheets where required with new 6mm Hardiflex soffit lining to match existing. Existing timber linings to remain, allow to replace with new slats if existing becomes damaged or unsalvagable		
4241.02	COLORSTEEL ENDURA TRIMRIB Allow for new Colorsteel Endura Trimrib roofing to replace existing.		
4272.01	STONE VENEER New Selected stone veneer supported by Stoneclad seismic stone clips - sized accordingly to chosen stone cladding, over Mapei or eq. adhesive system. Due to uneven wing wall footing size, allow to grout extg' wall to align cladding with edge of footing, allow to check on site before ordering material		
4282.01	ROCKCOTE INTEGRA FACADE SYSTEM Resene Construction Systems Integra Facade System		
4282.05	ROCKCOTE INTEGRA PANEL New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.		
4383.01	DECKING New decking TBC by client on new timber structure - Refer to structural drawings for details.		
4422.01	WATERPROOF ROOFING MEMBRANE New 1.5m Ardex WPM 715 Weldtec membrane over 19mm thick H3 C/D grade plywood, min. 150mm upstands allow to replace plywood over roofing structure if required.		
4614.01	BALUSTRADE SYSTEM New selected glass balustrade system face fixed to decking with interlinking metal rail cap. Refer to S10 on sheet S12 on structural drawings for type and fixings.		
4811.02	WINDOW AIR SEAL 3M Polyurethane Sealant 540 with PEF backing rod		
4811.04	MS SEALANT MS sealant		
4821.01	CAP FLASHING 0.55BMT Colorsteel CAP flashing, s/s screw fixed (No Top Fixing), min slope 5 degrees over H3.1 19mm plywood		
4821.02	FOLDED METAL FLASHING Allow for new 0.55BMT Colorsteel flashing as required as per drawing details or NZBC E2 requirements		
4821.03	HEAD FLASHING 0.55mm BMT Colorsteel head flashing, with stopends, to extend 20mm each side of opening, 15° fall,		

RevID	Comment	Date
E	RFI - Parapet Saddle Flashings, Roof & Bracing	24.01.2023


Christchurch City Council
BCN/2015/1435
Approved Building Consent Document
13/02/2023



Page 2 of 38

Copeland, Robert

Amendment #3




cook | Costello

Whangarei
Auckland
Wellington
Christchurch

| 09 4389 529
| 09 373 5357
| 04 472 7282
| 03 365 5960

ccl@coco.co.nz
www.coco.co.nz



CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

DISCLAIMER & NOTES

INITIAL		ISSUED	
DESIGNED	SD	08/09/2021	
DRAWN	KP		
CHECKED	SD		
SCALE		STATUS A3 original	
		AMENDMENT E - ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	
12557-197		E	
PAGE		2 OF 15	

FILE: Z:\12500-12999\12557\12557-197_ 9 Crest Lane- SA\7_CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn

3
3820.03 **Structure**
EXISTING ROOFING
Existing roof to remain. Allow to remove gutters to allow for new 30mm thick cedar fascia boards. Allow to install new soffits and cladding. Reinstall gutters and make good.

3820.04 **ALUMINIUM JOINERY**
All ext'd aluminium joinery to be temporarily removed to allow for new RAB and cladding insulation. Reinstall with new timber packers and air seals over PEF rods. Check all WANZ bars for failures and all interior trim for cracked mitres and allow to make good/replace

4221.01 CEDAR CLADDING
Hempac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

4282.05 ROCKCOTE INTEGRA PANEL
New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth

4383.01 DECKING
New decking TBC by client on new timber structure - Refer to structural drawings for details.

4422.01 WATERPROOF ROOFING MEMBRANE
New 1.5m Ardex WPM 715 Weldtec membrane over H3 C/D grade plywood, min. 150mm upstands allow to replace plywood over roofing structure if required.

4614.01 BALUSTRADE SYSTEM
New selected glass balustrade system face fixed to decking. Refer to structural drawings for type and fixings.


Page 8 of 32
BCN/2015/1435
 Approved Building Consent
 Document
 04/10/2021 Copeland, Robert



FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7. CAD\12557-197 9 Crest Lane_Reclad.pln

<p>3 3820.04</p>	<p>Structure ALUMINIUM JOINERY Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WANZ bars where required.</p>
------------------------------------	---

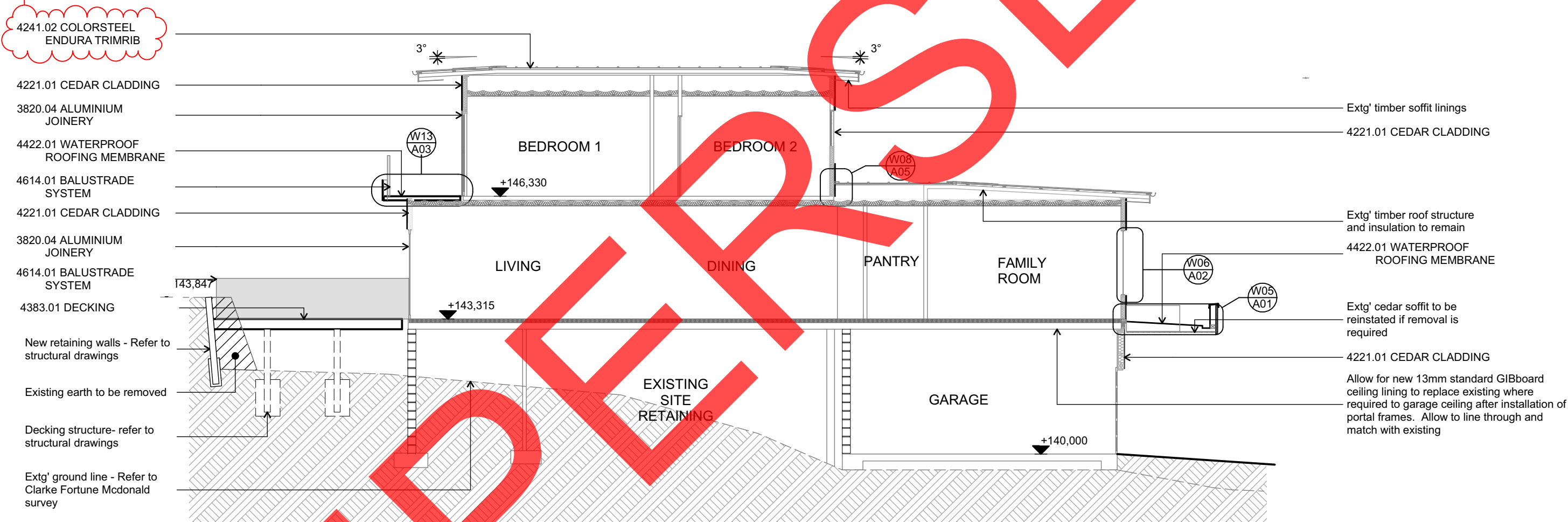
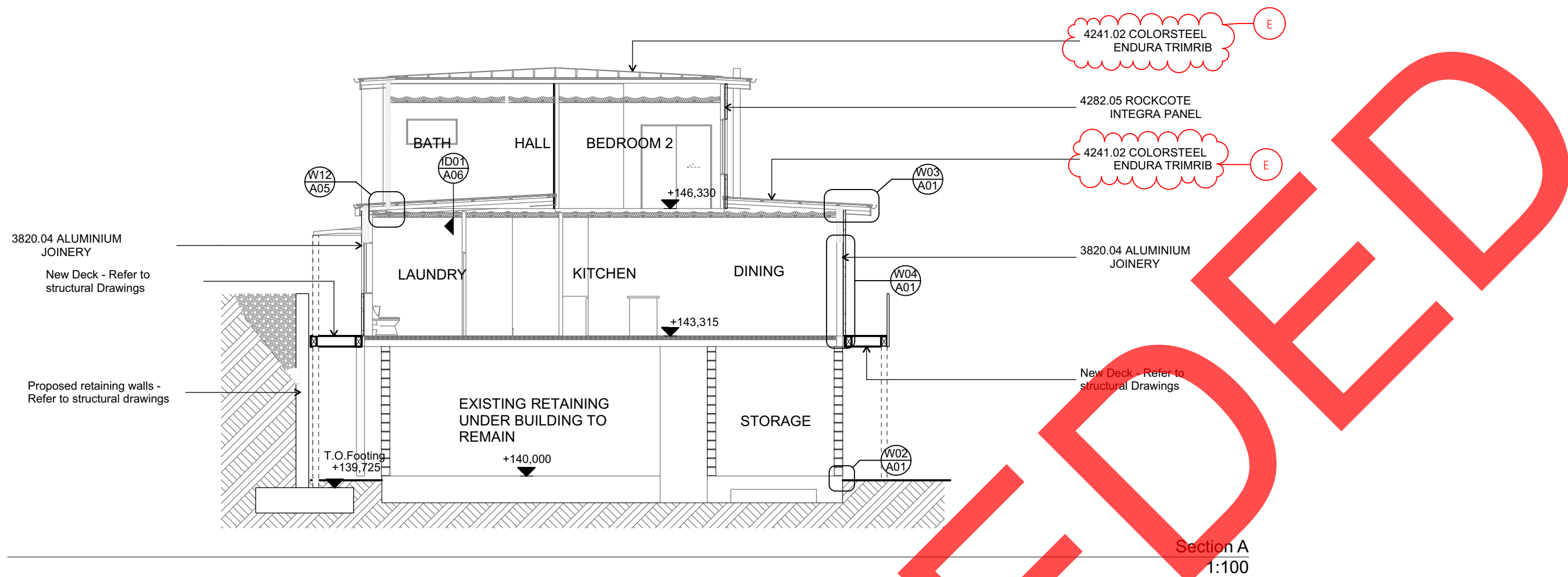
4221.01 CEDAR CLADDING
Hermapac vertical cedar weatherboard cladding on 20mm cavabit cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail gauge. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

4241.02 COLORSTEEL ENDURA TRIMRIB
Allow for new Colorsteel Endura Trimrib roofing to replace existing.

4282.05 ROCKCOTE INTEGRA PANEL
New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.

4383.01 DECKING
New decking TBC by client on new timber structure - Refer to structural drawings for details.

4422.01 WATERPROOF ROOFING MEMBRANE
New 1.5m Ardex WPM 715 Weldtec membrane over 19mm thick H3 C/D grade plywood, min. 150mm upstands allow to replace plywood over roofing structure if required.



Section B

1:100

RevID	Comment	Date
01P	New Arch. set issued	08.08.21
E	RFI - Parapet Saddle Flashings, Roof & Bracing	24.01.2023

Amendment #3



CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

CROSS SECTION

DESIGNED	INITIAL	ISSUED	
DRAWN	SD	08/09/2021	
CHECKED	KP		
	SD		
SCALE	STATUS		A3 original
1:100	AMENDMENT E -		
	ARCHITECTURAL SET		
JOB NO.	DRAWING NO.		REVISION
12557-197	L06		E
	PAGE	8	OF 15

Notes

- 3

Structure

3820.04

ALUMINIUM JOINERY

Allow for new aluminium double glazed door and window joinery. Allow for new timber packers and air seals over PEF rods. Allow for new WANZ bars where required.
- 4

Enclosure

4221.01

CEDAR CLADDING

Hempac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 'Thermakraft' Watergate plus building paper over extg' RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4241.02

COLORSTEEL ENDURA TRIMRIB

Allow for new Colorsteel Endura Trimrib roofing to replace existing.
- 4282.05

ROCKCOTE INTEGRA PANEL

New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding over 20mm cavity over 'Thermakraft' Watergate Plus building paper over extg' RAB board.
- 4383.01

DECKING

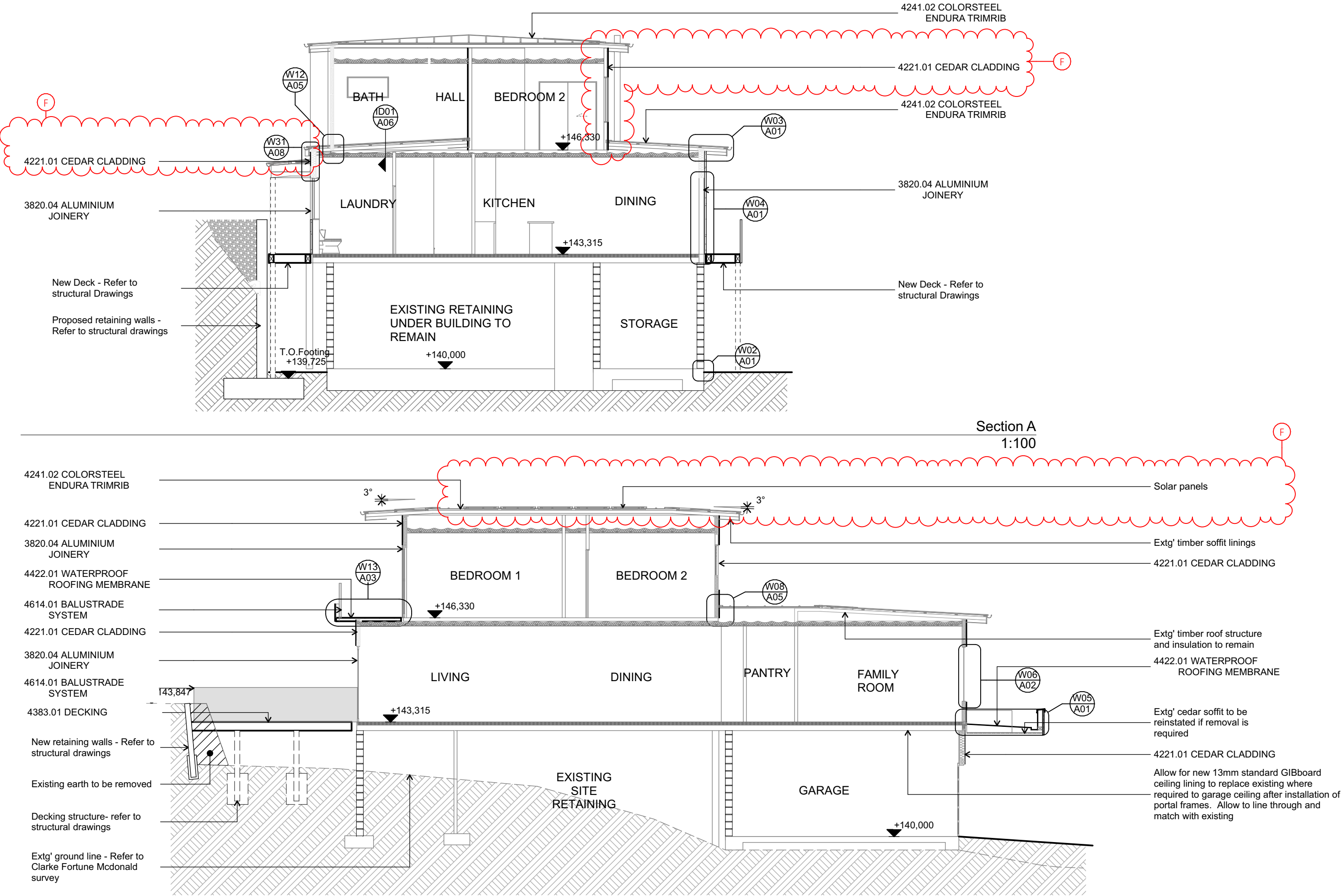
New decking TBC by client on new timber structure - Refer to structural drawings for details.
- 4422.01

WATERPROOF ROOFING MEMBRANE

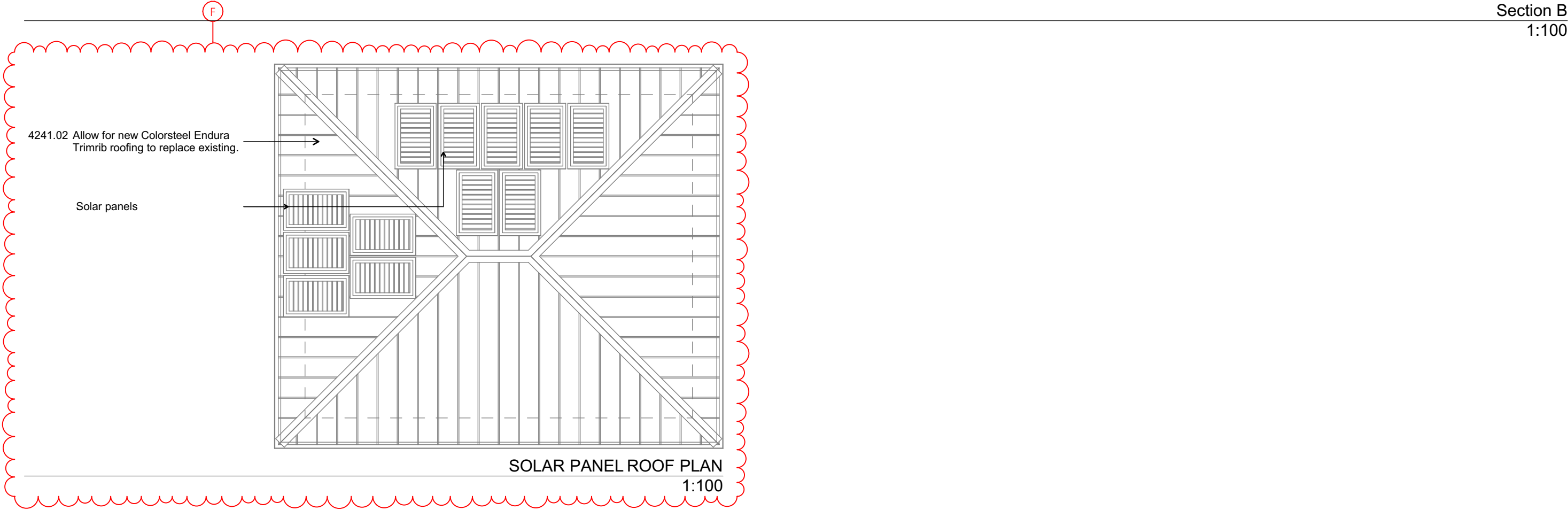
New 1.5m Ardex WPM 715 Weldtec membrane over 19mm thick H3 C/D grade plywood, min. 150mm upstands allow to replace plywood over roofing structure if required.
- 4614.01

BALUSTRADE SYSTEM

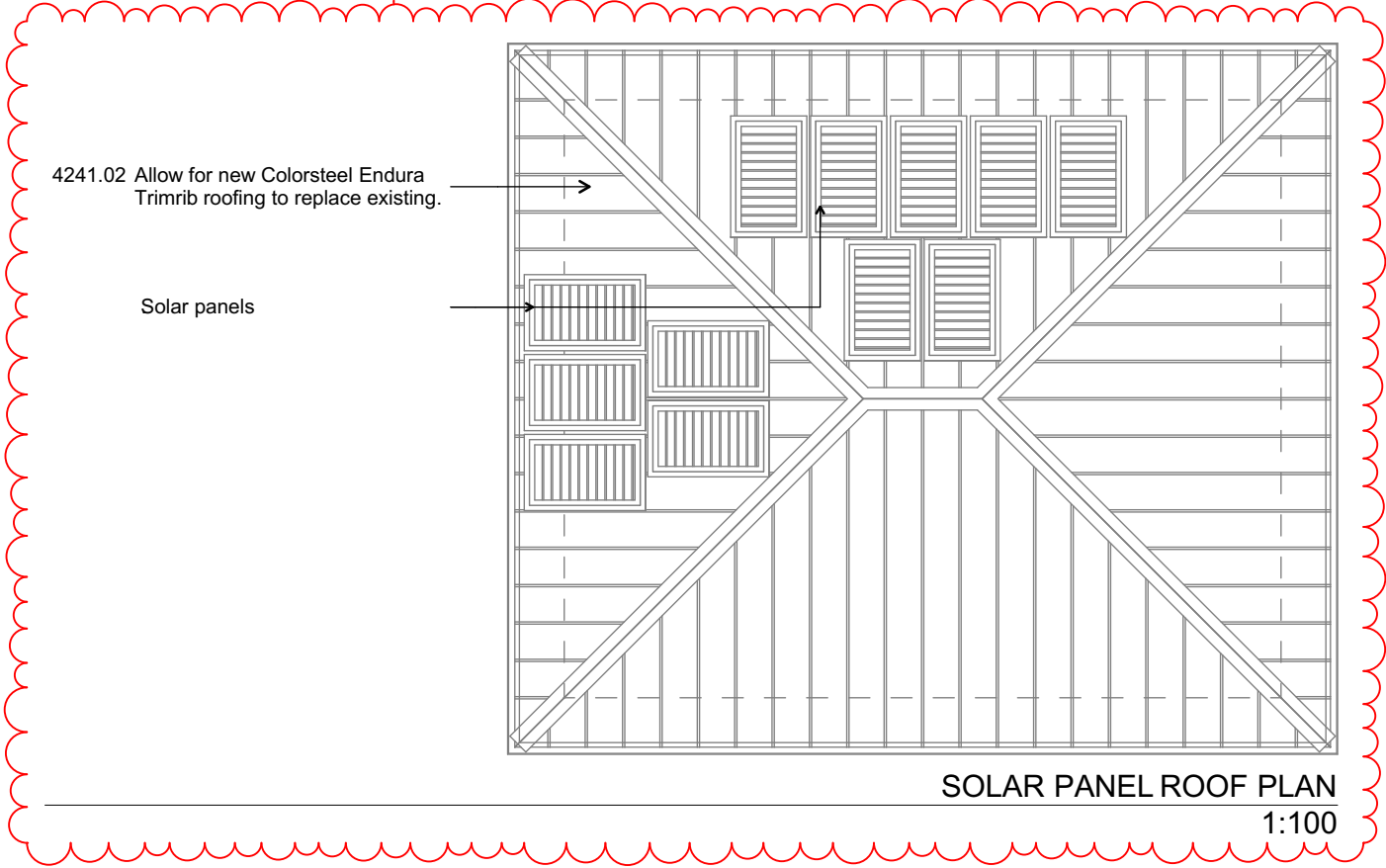
New selected glass balustrade system face fixed to decking with Glassforce 1490 Mini Capping Rail. Refer to S10 on sheet S12 on structural drawings for type and fixings. Refer to W24 on sheet A07 of architectural drawing set for interlinking metal cap detail.



Section A
1:100



Section B
1:100



SOLAR PANEL ROOF PLAN
1:100

Christchurch City Council		Page 4 of 18
Revised	By	Date
B	New Arch.	08/09/2021
E	RFI - Panel Set Building Consent	24.01.23
F	Cladding & RFI Amendment	5.04.2023
06/04/2023		Copeland, Robert

Amendment #4



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

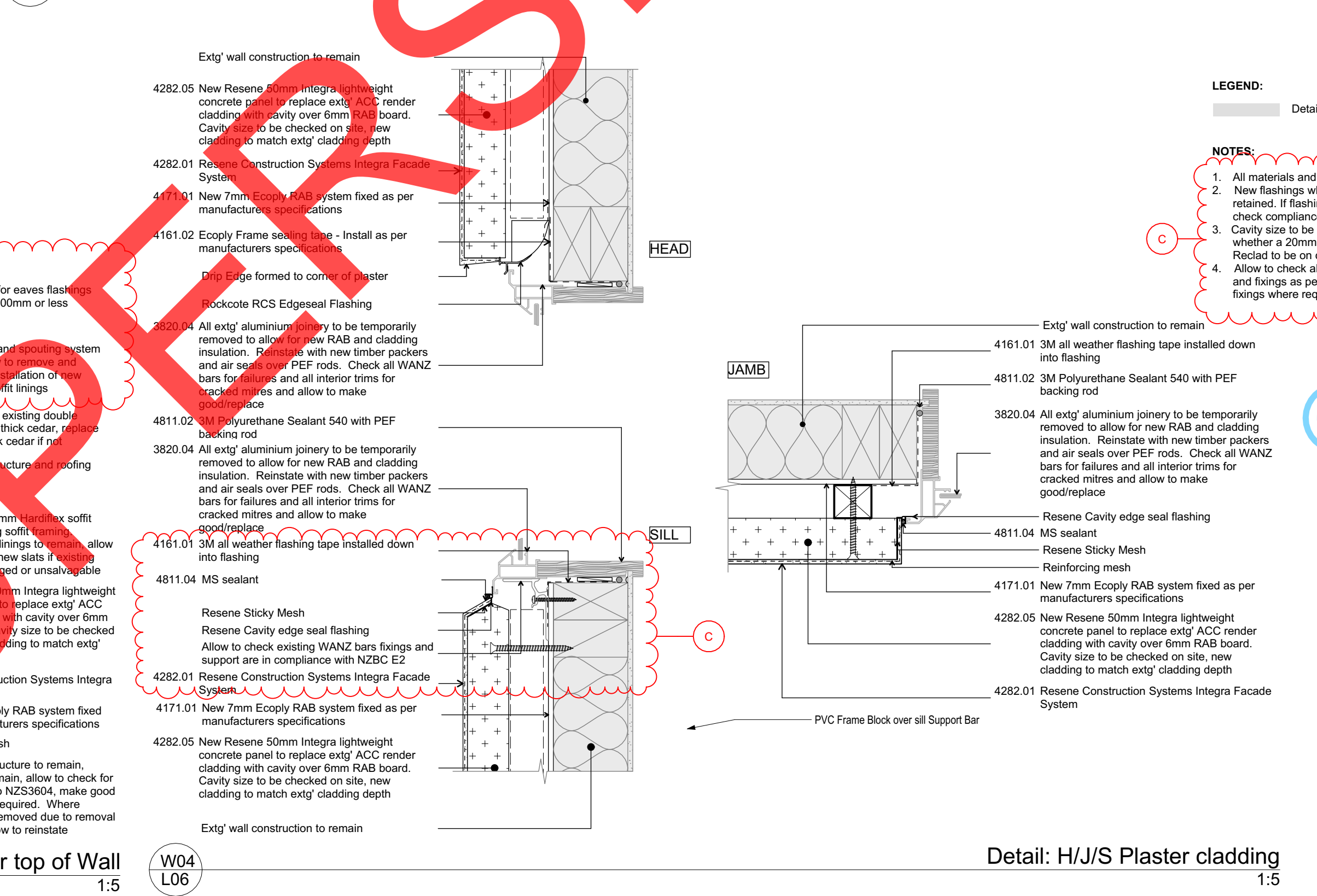
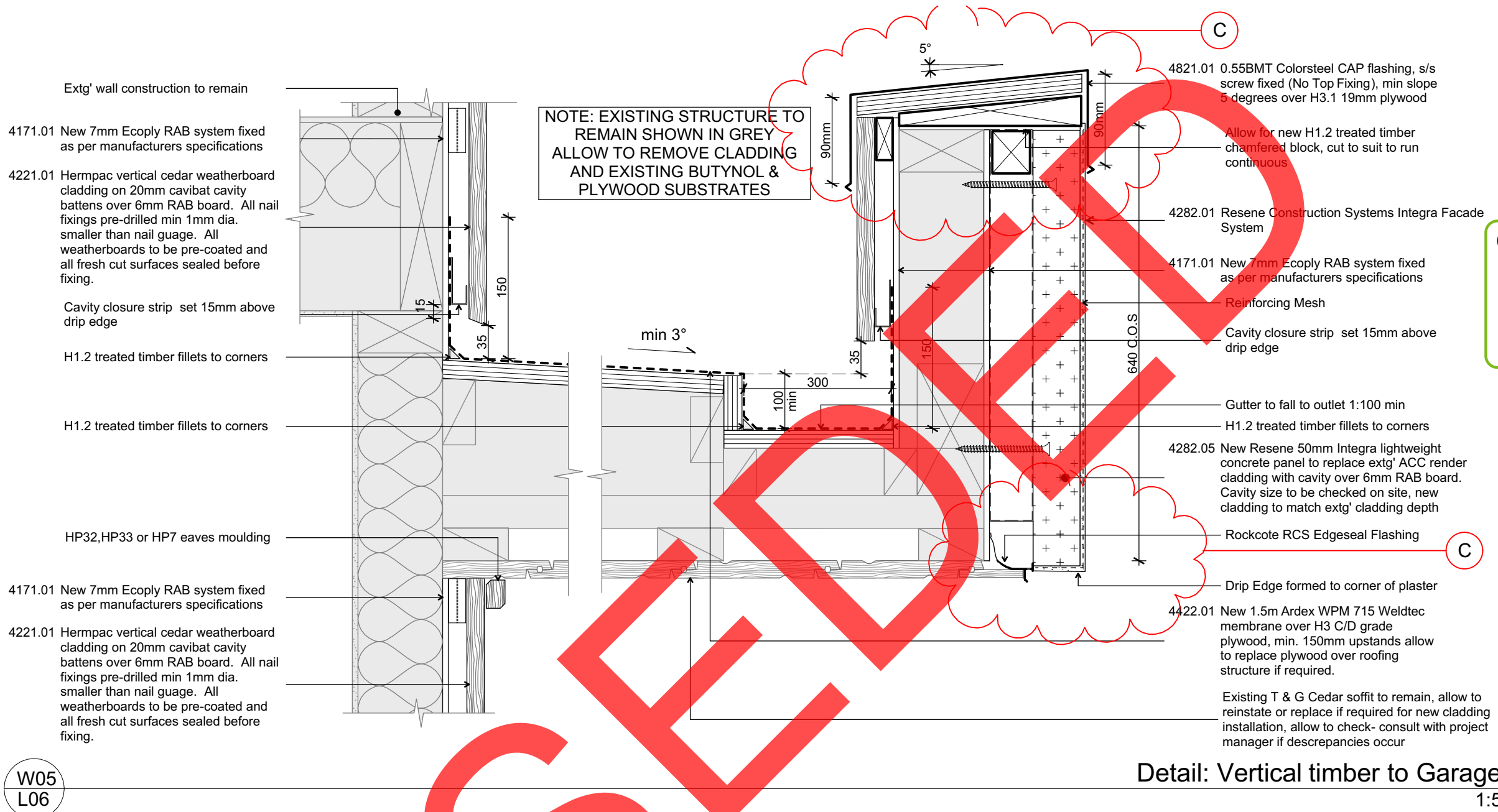
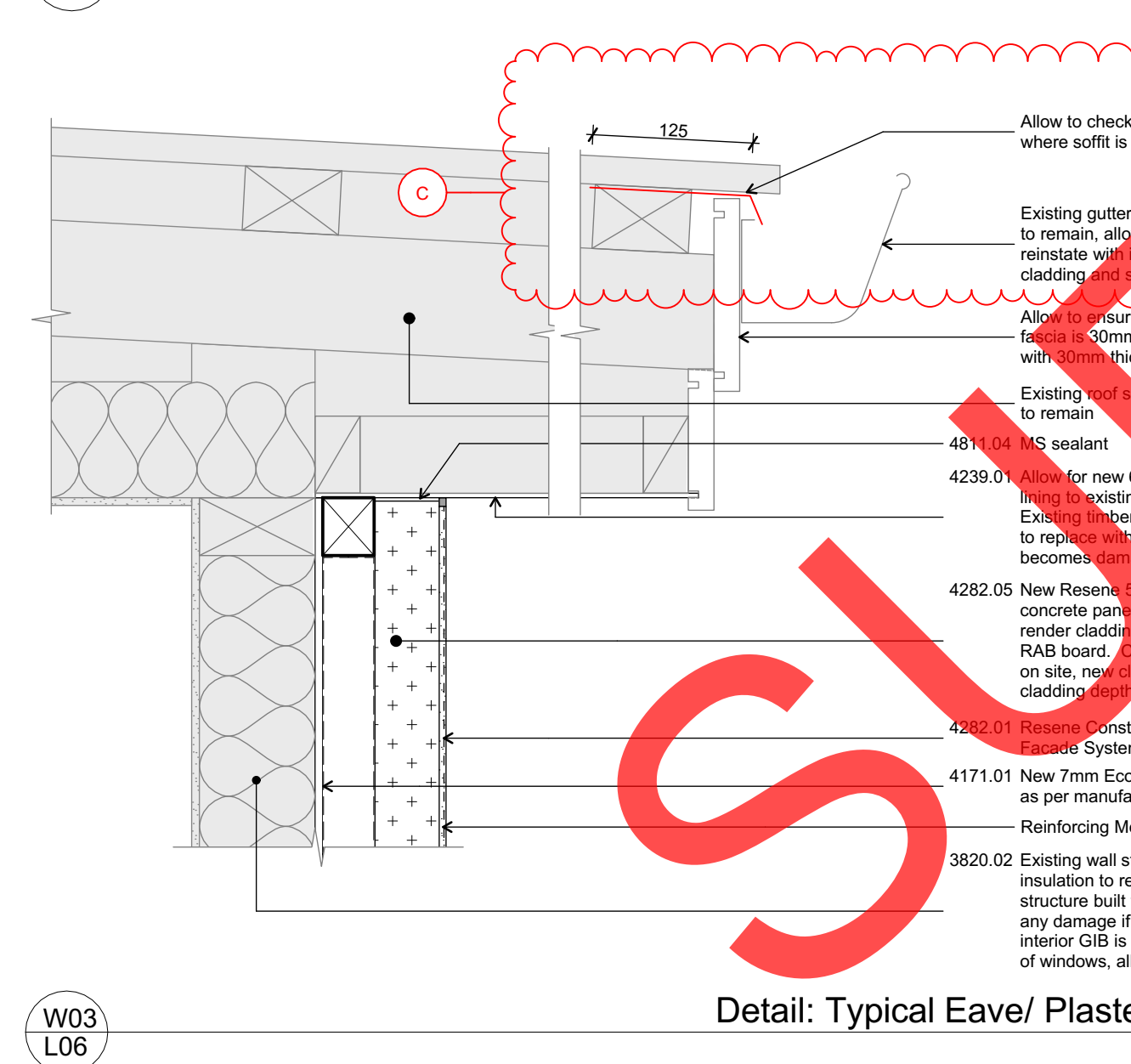
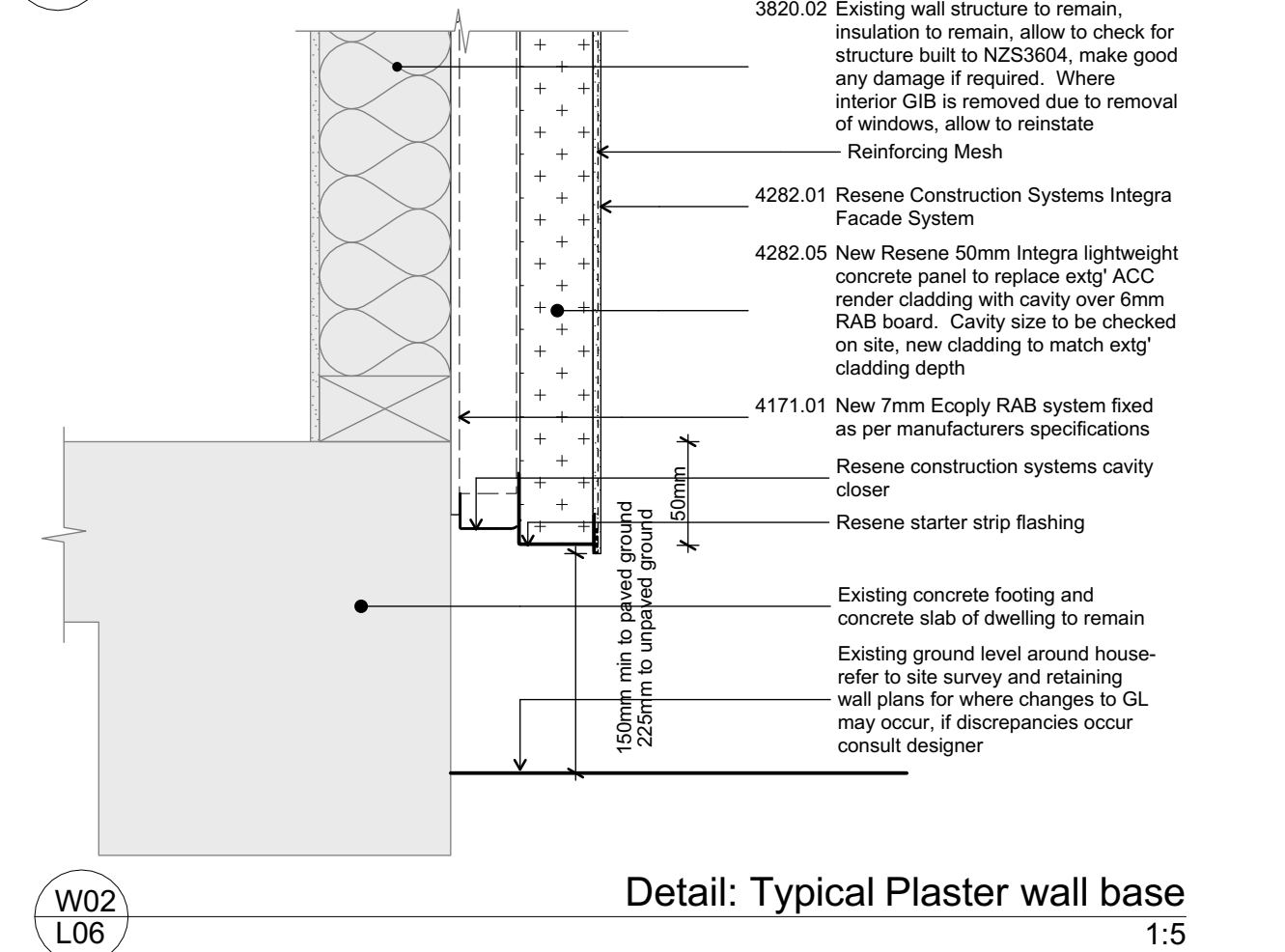
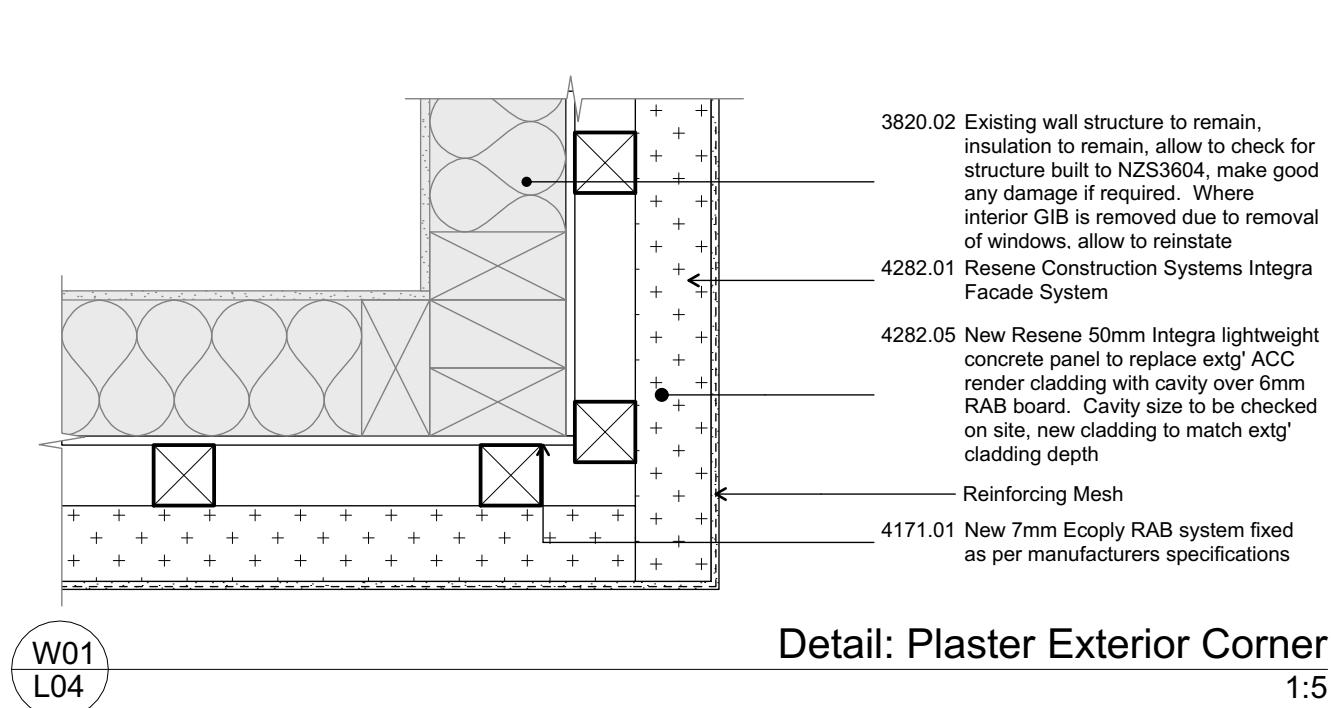
DRAWING TITLE

CROSS SECTION & ROOF
PLAN

INITIAL		ISSUED
DESIGNED	SD	08/09/2021
DRAWN	KP	
CHECKED	SD	
SCALE	STATUS A3 original	
1:100	AMENDMENT F - ARCHITECTURAL SET	
JOB NO.	DRAWING NO.	REVISION
12557-197	L06	F
PAGE		8 OF 17

FILE: Z:\12500-12999\12557\12557-197_ 9 Crest Lane- SA17- CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn

RevID	Comment	Date
B	New Arch. set issued	08.09.21
C	RFI	23.09.21

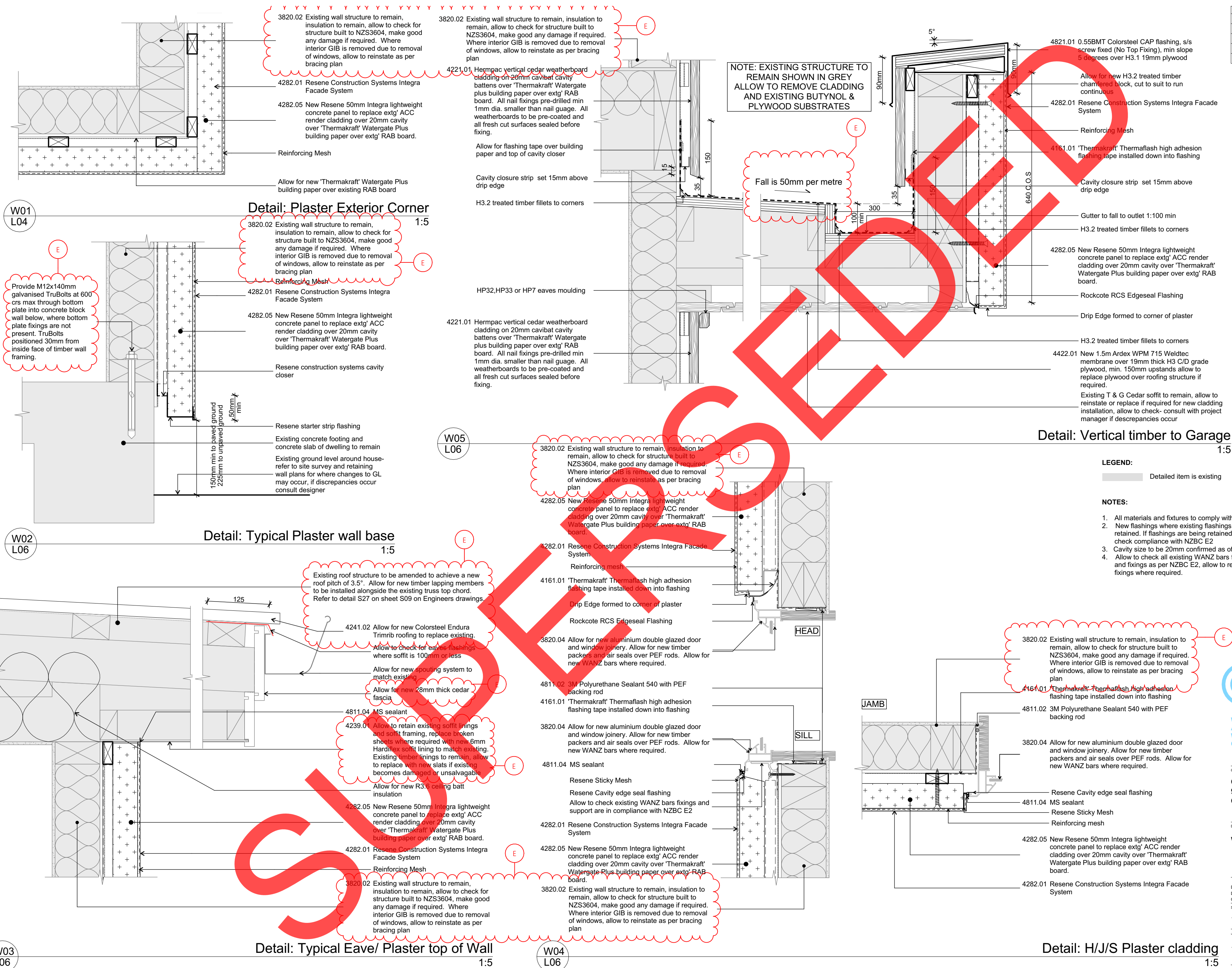


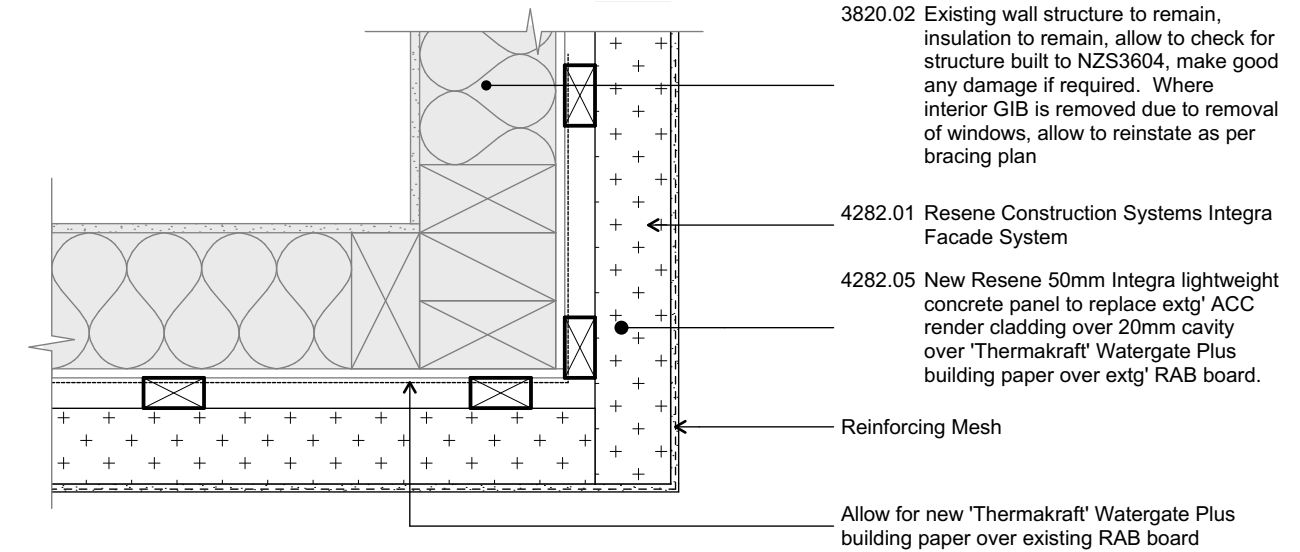
LEGEND:
Detailed item is existing

- NOTES:
- All materials and fixtures to comply with NZ/AS 1.
 - New flashings where existing flashings cannot be retained. If flashings are being retained, allow to check compliance with NZBC E2.
 - Cavity size to be checked on site to determine whether a 20mm or 40mm cavity is required. Reclad to be on cavity sized as previous cladding.
 - Allow to check all existing WANZ bars for support and fixings as per NZBC E2, allow to replace or add fixings where required.

Amendment #2

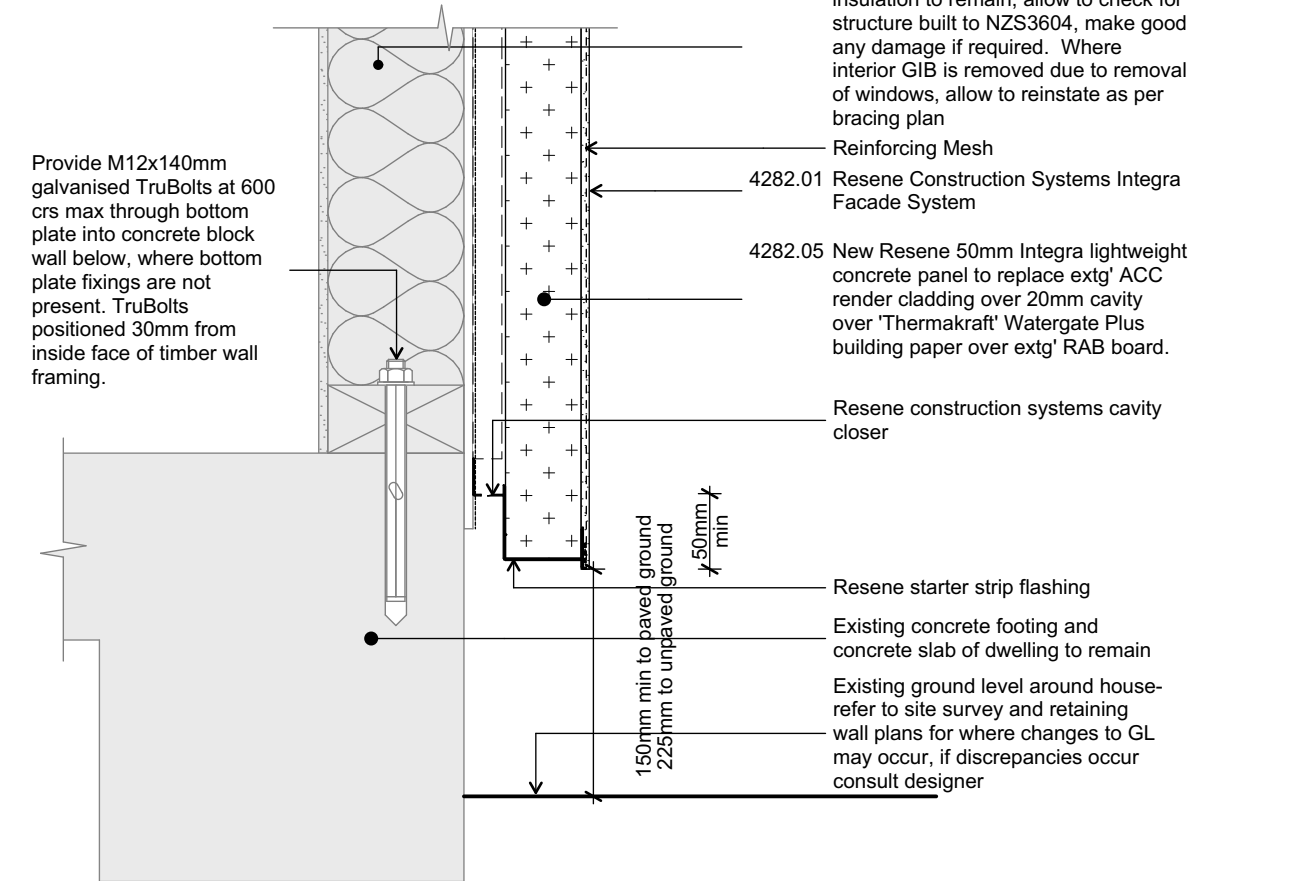
RevID	Comment	Date
BIP	New Arch. set issued	08/09/23
C	RFI	23.09.21
D	Construction RFI	14.12.22
E	RFI - Parapet Saddle Flashings, Roof & Bracing	24.01.2023





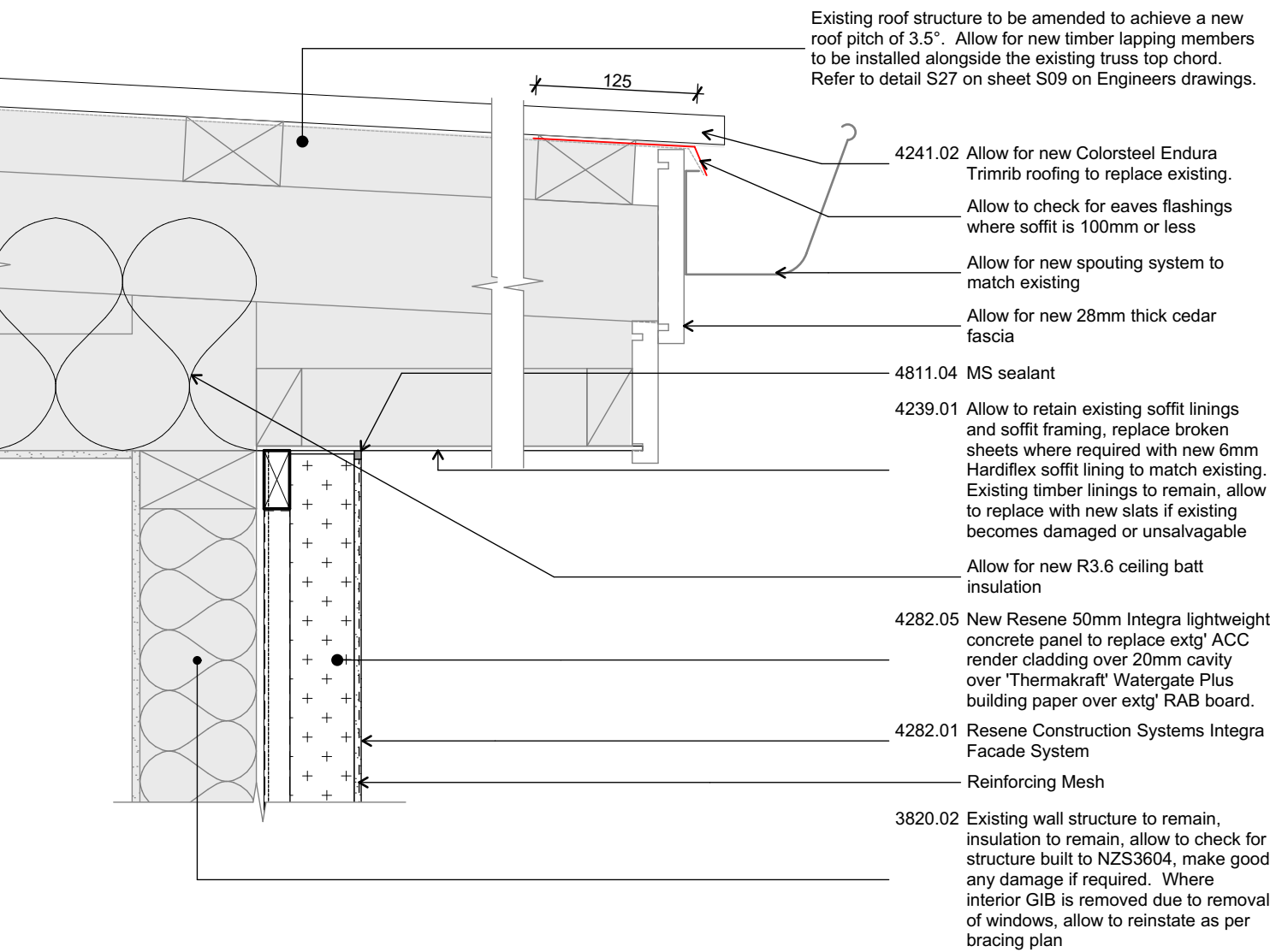
Detail: Plaster Exterior Corner

1:5



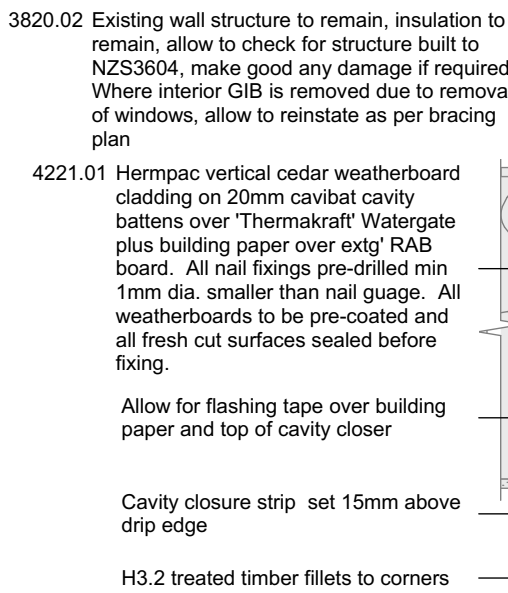
Detail: Typical Plaster wall base

1:5



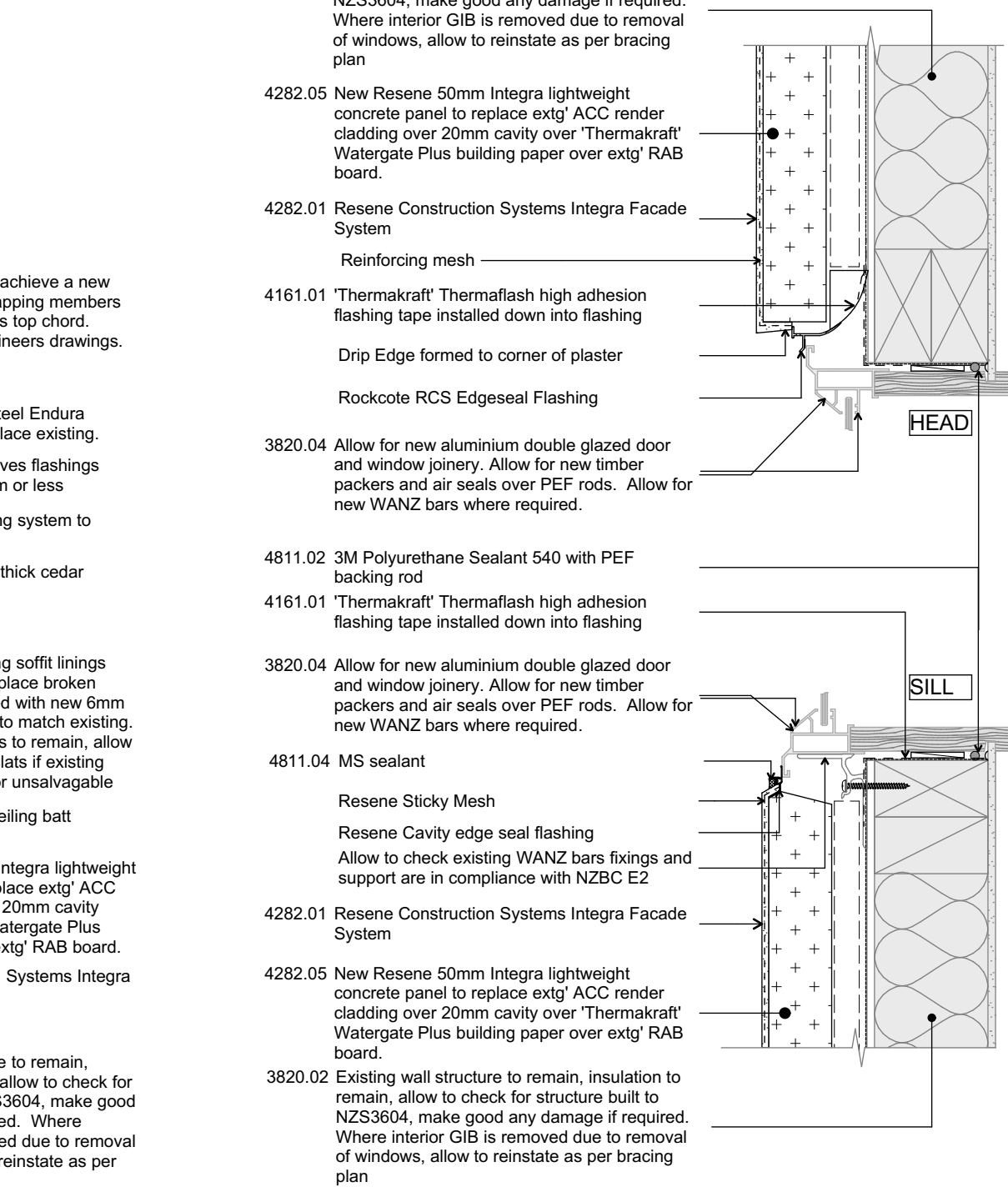
Detail: Typical Eave/ Plaster top of Wall

1:5



Detail: Vertical timber to Garage

1:5



Detail: H/J/S Plaster cladding

1:5

LEGEND:

Detailed item is existing

NOTES:

- All materials and fixtures to comply with NZ/AS 1.
- New flashings where existing flashings cannot be retained. If flashings are being retained, allow to check compliance with NZBC E2.
- Cavity size to be 20mm confirmed as of 12.12.2022.
- Allow to check all existing WANZ bars for support and fixings as per NZBC E2, allow to replace or add fixings where required.

Amendment #4



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

WEATHERTIGHT DETAILS

DESIGNED	SD	ISSUED	23/09/2021
DRAWN	KP		
CHECKED	SD		
SCALE	1:5	STATUS	A3 original
JOB NO.	12557-197	DRAWING NO.	AMENDMENT F - ARCHITECTURAL SET
	A01	REVISION	F
	PAGE	9	OF 17

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA77 CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn

3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications

4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

Cavity closure strip set 15mm above drip edge

4161.01 3M all weather flashing tape installed down into flashing

4811.04 MS sealant

4821.03 0.55mm BMT Colorsteel head flashing, with stopends, to extend 20mm each side of opening, 15° fall, colour to match joinery.

4811.02 3M Polyurethane Sealant 540 with PEF backing rod

3820.04 All extg' aluminium joinery to be temporarily removed to allow for new RAB and cladding insulation. Reinstate with new timber packers and air seals over PEF rods. Check all WANZ bars for failures and all interior trims for cracked mitres and allow to make good/replace

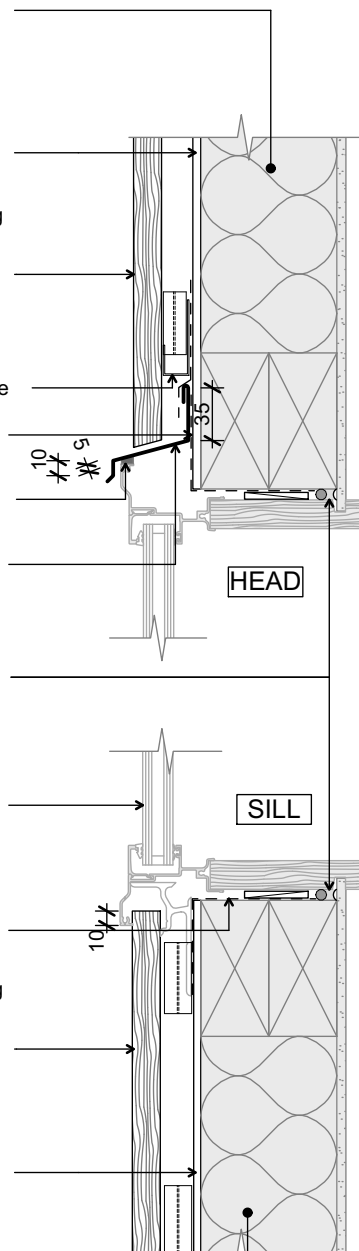
4161.01 3M all weather flashing tape installed down into flashing

4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

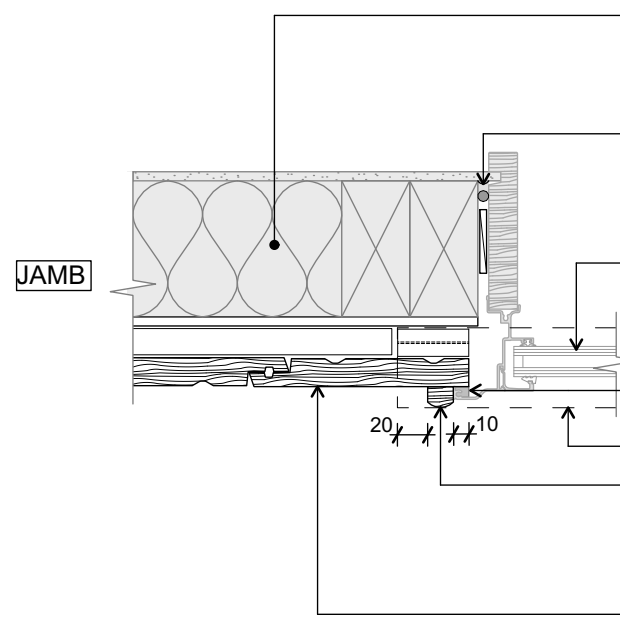
4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications

3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

W06
L06



NOTE:
Option without scribe providing that the joinery flange and sealed along with foam seal



3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

4811.02 3M Polyurethane Sealant 540 with PEF backing rod

3820.04 All extg' aluminium joinery to be temporarily removed to allow for new RAB and cladding insulation. Reinstate with new timber packers and air seals over PEF rods. Check all WANZ bars for failures and all interior trims for cracked mitres and allow to make good/replace

Continuous strip of sealant over bond breaker as per manufacturers specifications

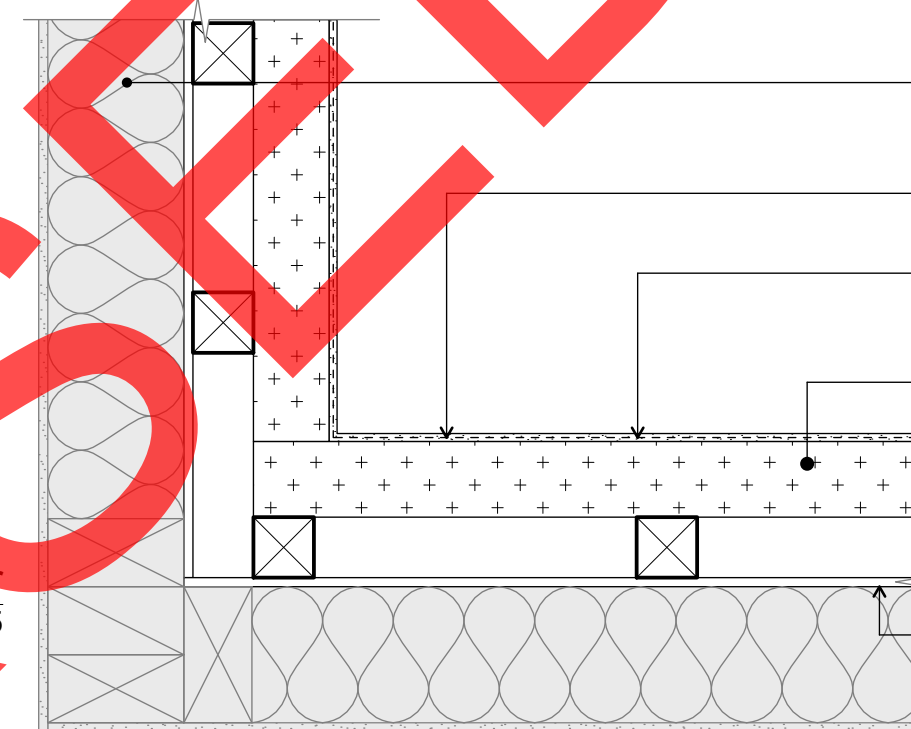
Head Flashing above

HP11 / HP18 scribe cut to suit,

4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

Detail: H/J/S Vertical Timber
1:5

W11
L04



W10
L04

Detail: Plaster to Timber Internal Corner
1:5

4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.

4811.04 MS sealant

4821.04 0.55mm BMT backflashing flashing to extend 50mm each behind claddings

Reinforcing Mesh

4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth

4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications

3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

Selected Hermpac Scribe

LEGEND:

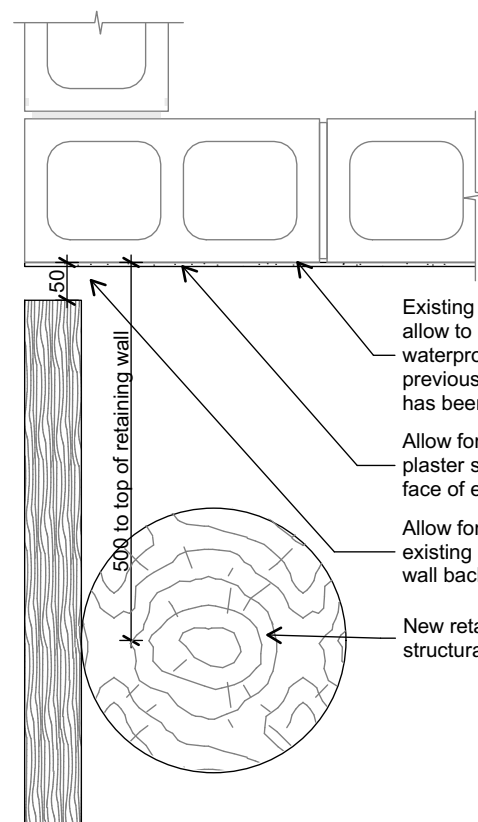
Detailed item is existing

NOTES:

1. All materials and fixtures to comply with NZ/AS1.
2. New flashings where existing flashings cannot be retained. If flashings are being retained, allow to check compliance with NZBC E2
3. Cavity size to be checked on site to determine whether a 20mm or 40mm cavity is required. Reclad to be on cavity sized as previous cladding
4. Allow to check all existing WANZ bars for support and fixings as per NZBC E2, allow to replace or add fixings where required.

Christchurch City Council
BCN/2015/1435
Approved Building Consent Document
04/10/2021 Copeland, Robert

Amendment #2



W16
L03

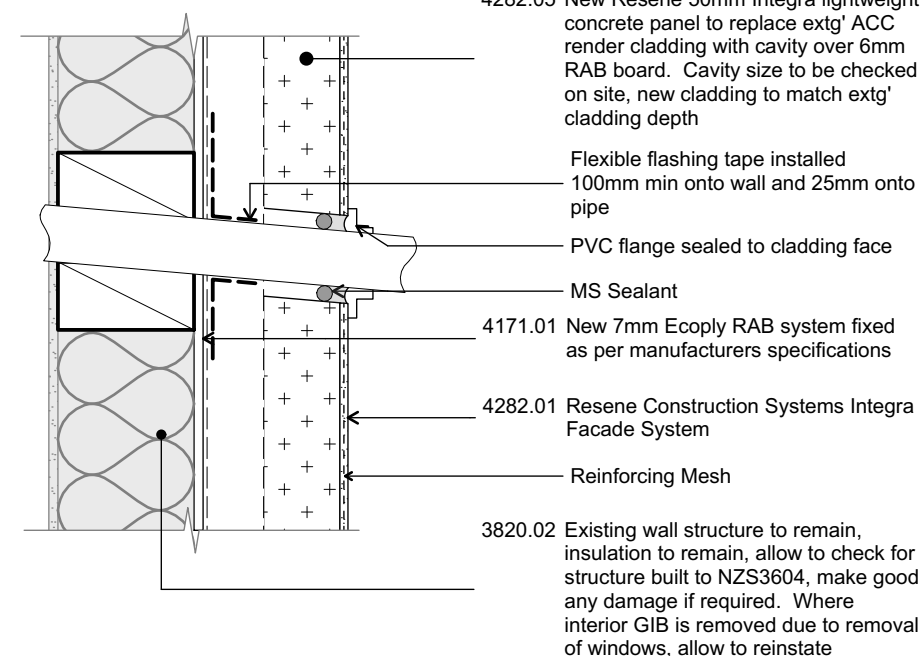
Detail: Plaster finish to wall
1:10

Existing concrete block wall, allow to remove extg' waterproofing layer where previous waterproofing membrane has been applied

Allow for Resene X200 paint and plaster system directly applied to face of extg' concrete block wall

Allow for 50mm gap between existing house and new retaining wall backing boards

New retaining wall 12 - Refer to structural drawings



4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth

Flexible flashing tape installed 100mm min onto wall and 25mm onto pipe

PVC flange sealed to cladding face

MS Sealant

4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications

4282.01 Resene Construction Systems Integra Facade System

Reinforcing Mesh

3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

Detail: Typical Cladding Penetrations
1:5

cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

WEATHERTIGHT DETAILS

INITIAL		ISSUED	
DESIGNED	SD	08/09/2021	
DRAWN	KP		
CHECKED	SD		
SCALE		STATUS	A3 original
1:5		AMENDMENT B - ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION
12557-197		A02	B
		PAGE	10 OF 14

FILE: Z:\12550-12999\12557\12557-197_9 Crest Lane- SA\7_CAD\12557-197_9 Crest Lane_Reclad.dgn

RevID	Comment	Date
BIP	New Arch. set issued	08/09/2021
D	Construction RFI	14.12.22
E	RFI - Parapet Saddle	
	Flashings, Roof & Bracing	24.01.2023

LEGEND:

Detailed item is existing

NOTES:

- All materials and fixtures to comply with NZ/AS1.
- New flashings where existing flashings cannot be retained. If flashings are being retained, allow to check compliance with NZBC E2
- Cavity size to be 20mm confirmed as of 12.12.2022.
- Allow to check all existing WANZ bars for support and fixings as per NZBC E2, allow to replace or add fixings where required.

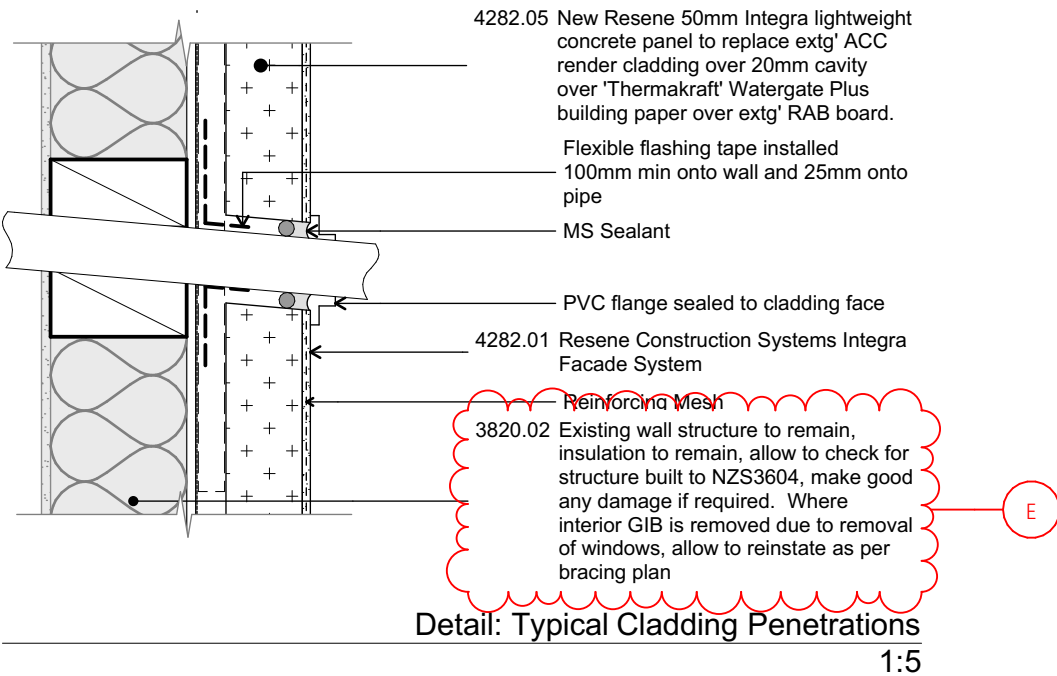
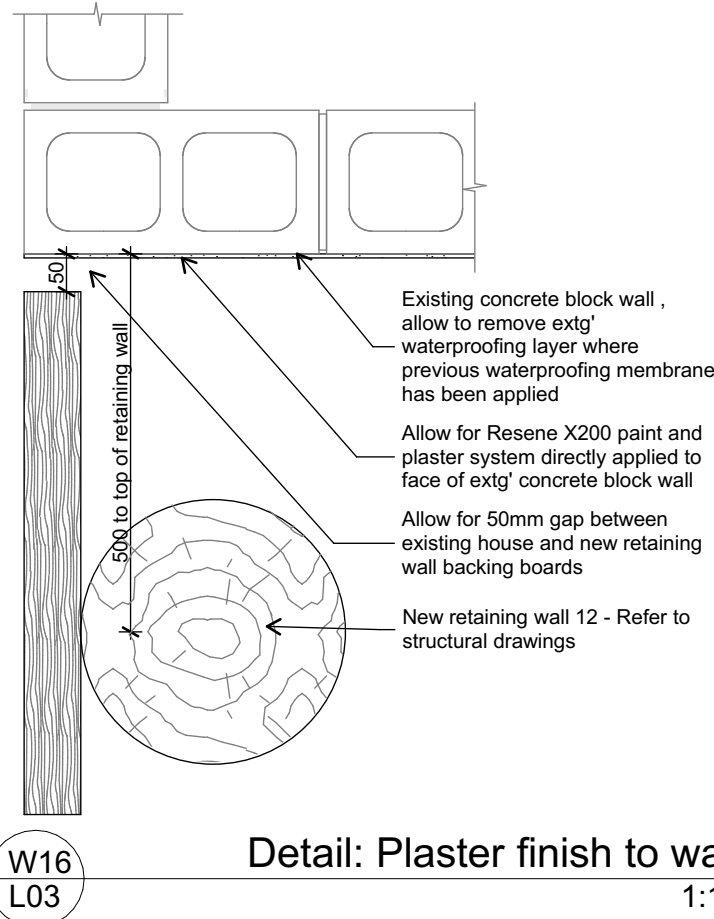
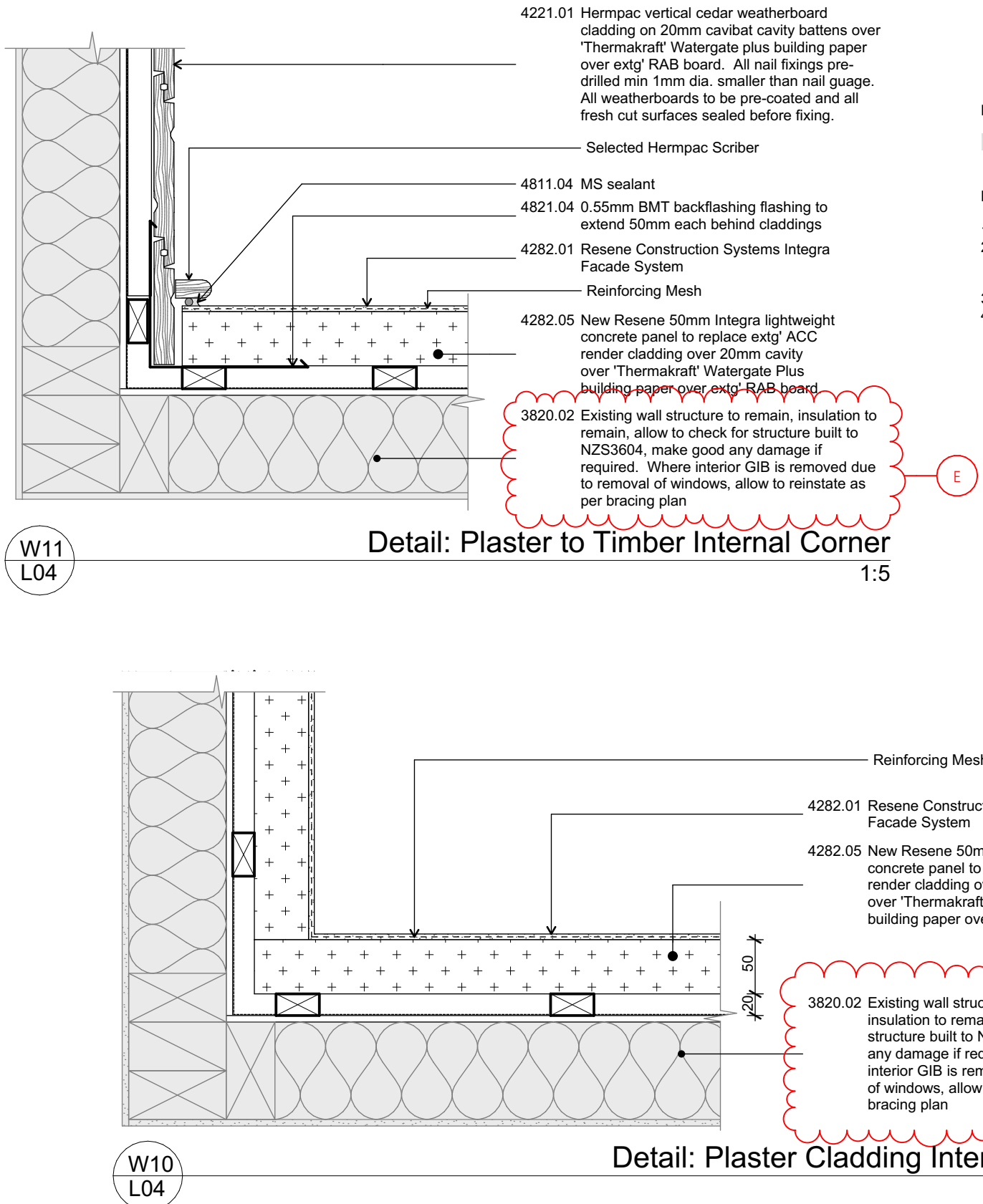
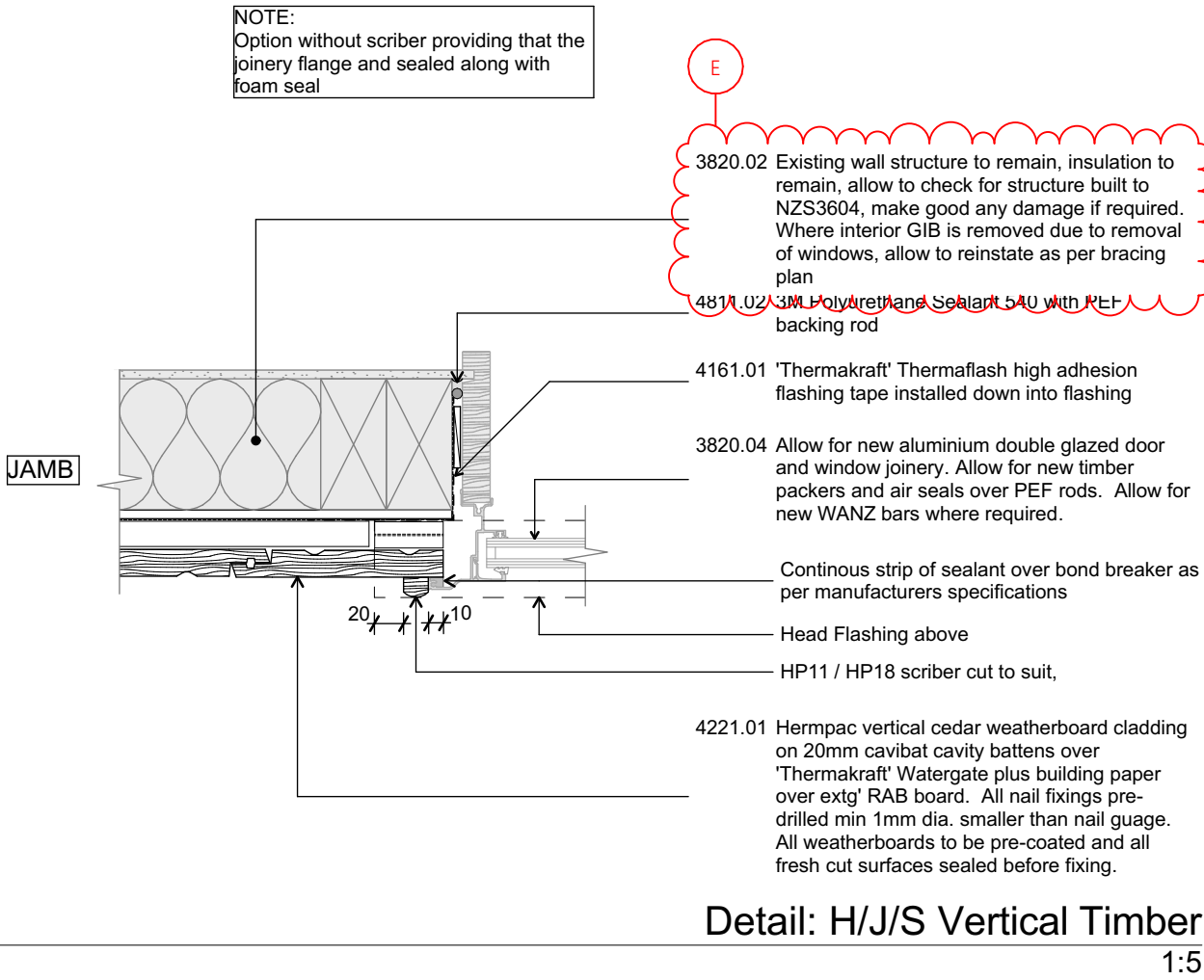
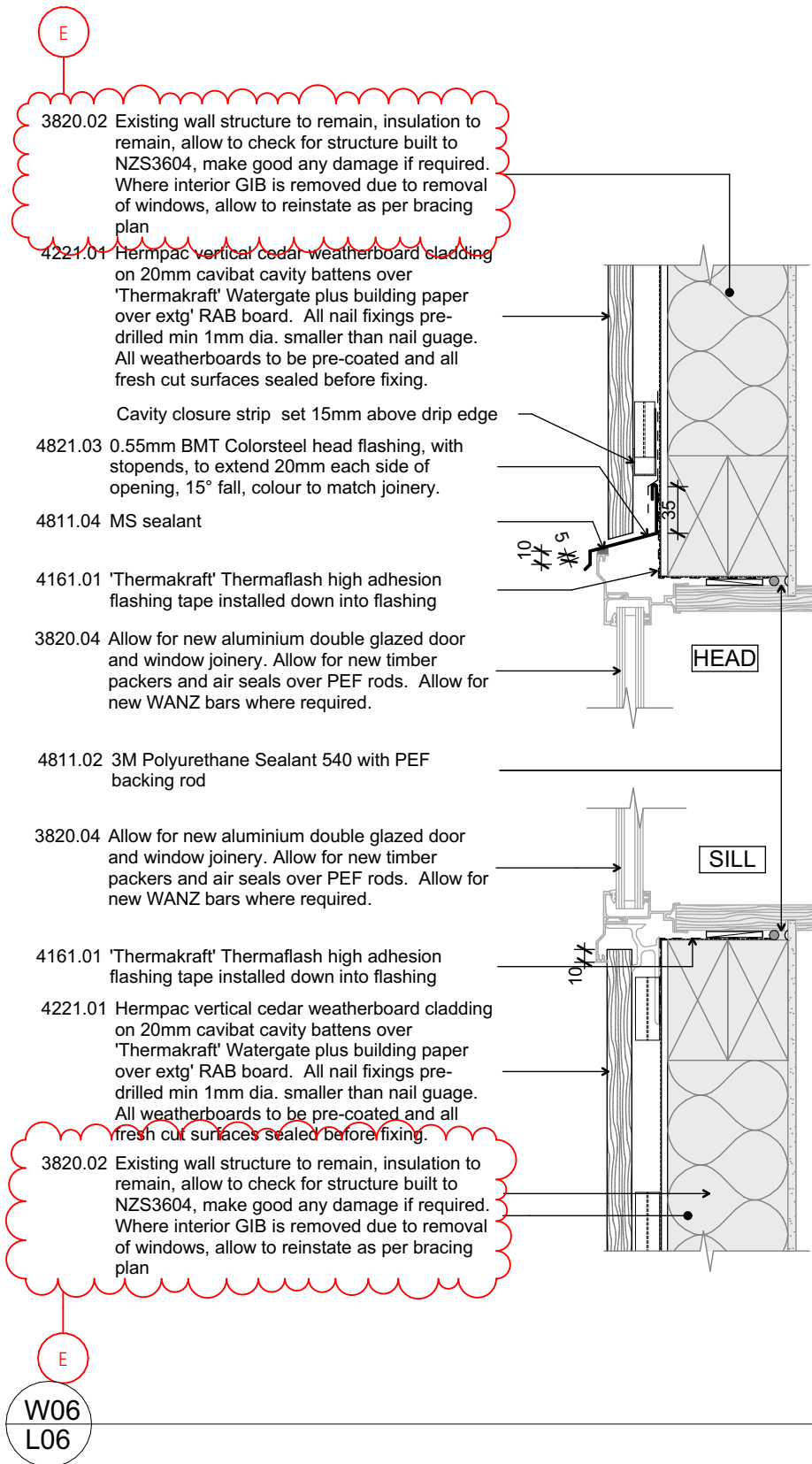
Christchurch City Council

Page 10 of 38

BCN2015/1435

Approved Building Consent Document

13/02/2023 Copeland, Robert



cook | Costello

Whangarei Auckland Wellington Christchurch

09 4389 529 09 373 5357 04 472 7282 03 365 5960

ccl@coco.co.nz www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD 9 CREST LANE, REDCLIFFS, CHRISTCHURCH,

DRAWING TITLE

WEATHERTIGHT DETAILS

DESIGNED	DRAWN	CHECKED	SCALE	JOB NO.	STATUS	DRAWING NO.	REVISION
SD	KP	SD	1:5	12557-197	A3 original	A02	E
					AMENDMENT E - ARCHITECTURAL SET		
					PAGE 10 OF 15		

FILE: Z:\12500-12999\12557\12557-197 - 9 Crest Lane- SA17- CAD\12557-197 9 Crest Lane_Reclad 6.12.22.dgn


Page 11 of 32
BCN/2015/1435
 Approved Building Consent
 Document
04/10/2021
Copeland, Robert

Approved Building Consent Document

4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth

4282.01 Resene Construction Systems Integra Facade System

Resene Slip Joint

S Sealant

4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications

3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

———— Reinforcing Mesh

4282.01 Resene Construction Systems Integra Facade System

4811.02 3M Polyurethane Sealant 540 with PEF
backing rod
———— Reinforcing Mesh

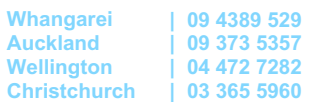
4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth

4171.01 New 7mm Ecoply RAB system fixed
as per manufacturers specifications

3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate

Detail: Typical Interstorey JUNCTIONS

:5



ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

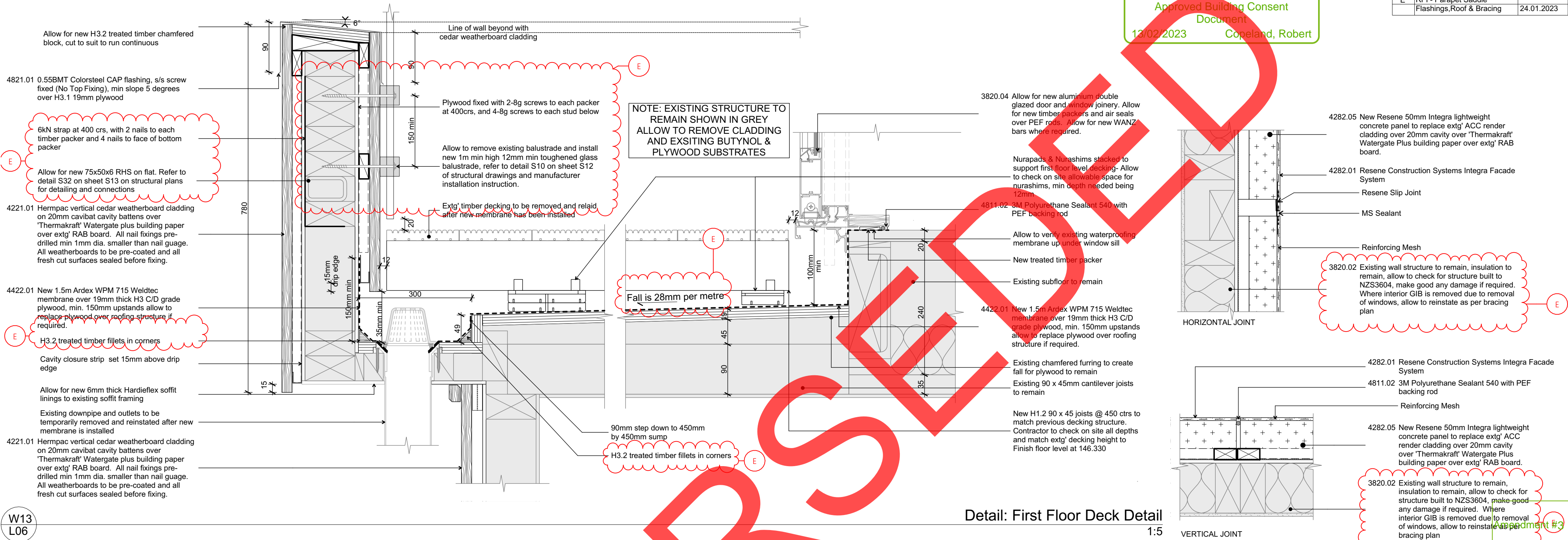
DRAWING TITLE

WEATHERTIGHT DETAILS

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7. CAD\12557-197 9 Crest Lane. Reclad.pln



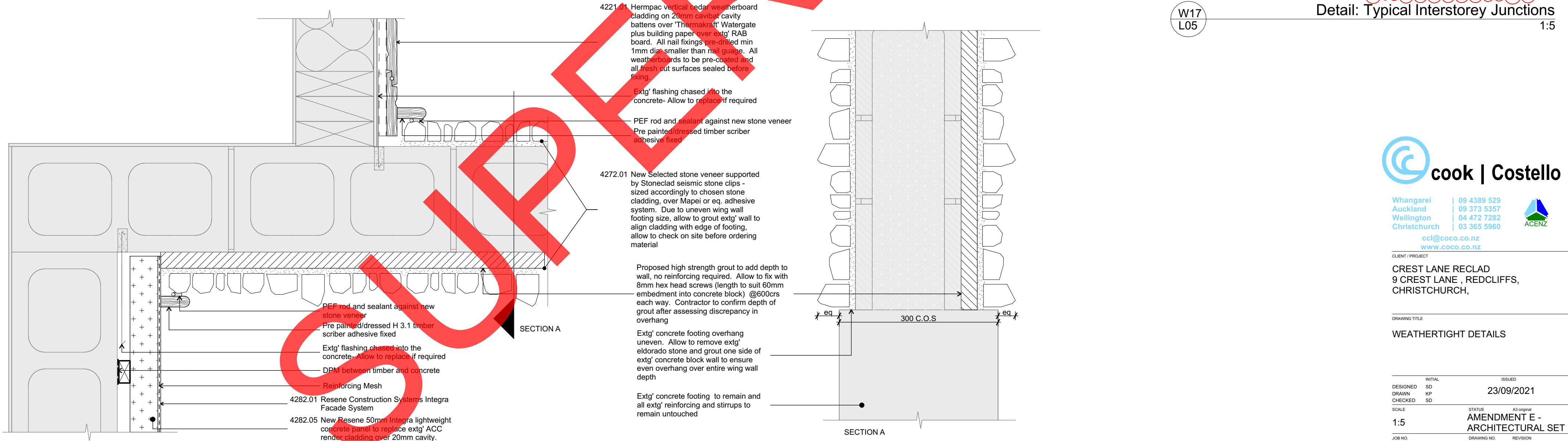
RevID	Comment	Date
BIP	New Arch. set issued	08/09/21
C	RFI	23.09.21
D	Construction RFI	14.12.22
E	RFI - Parapet Saddle	
	Flashings, Roof & Bracing	24.01.2023



W13
L06

Detail: First Floor Deck Detail

1:5



W15
L03

Detail: Plaster/ Timber / Stone Junction

1:5

 **cook | Costello**

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz



CLIENT / PROJECT

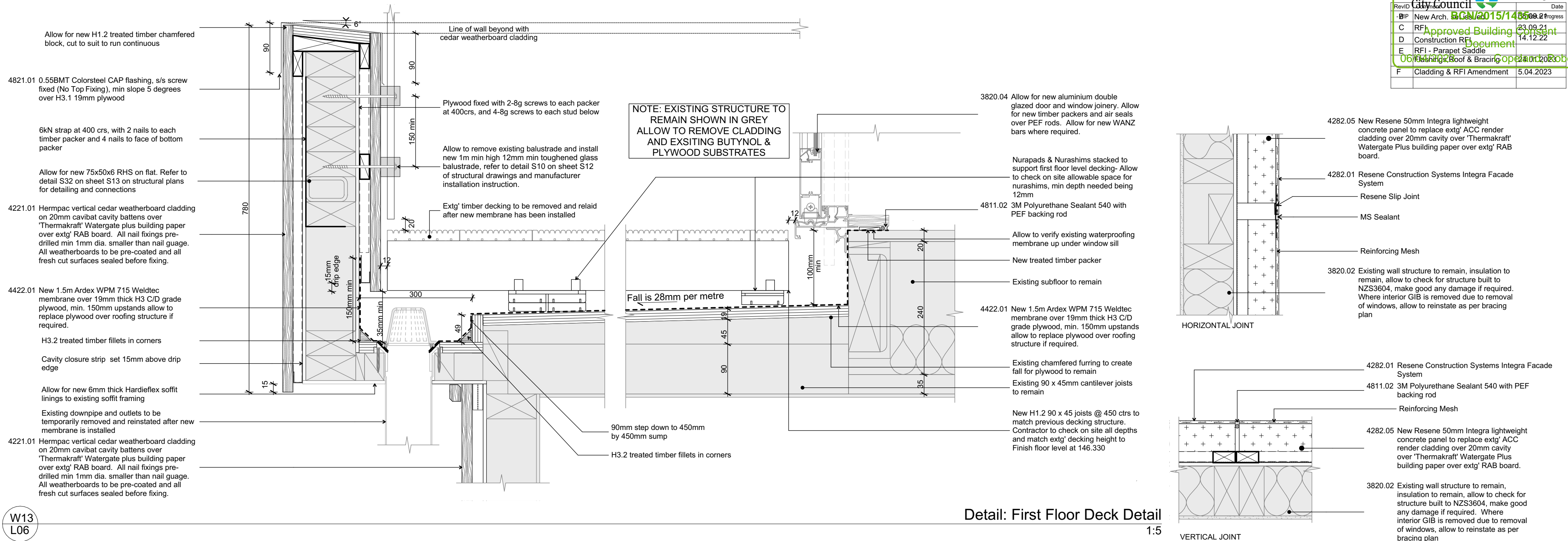
CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

WEATHERTIGHT DETAILS

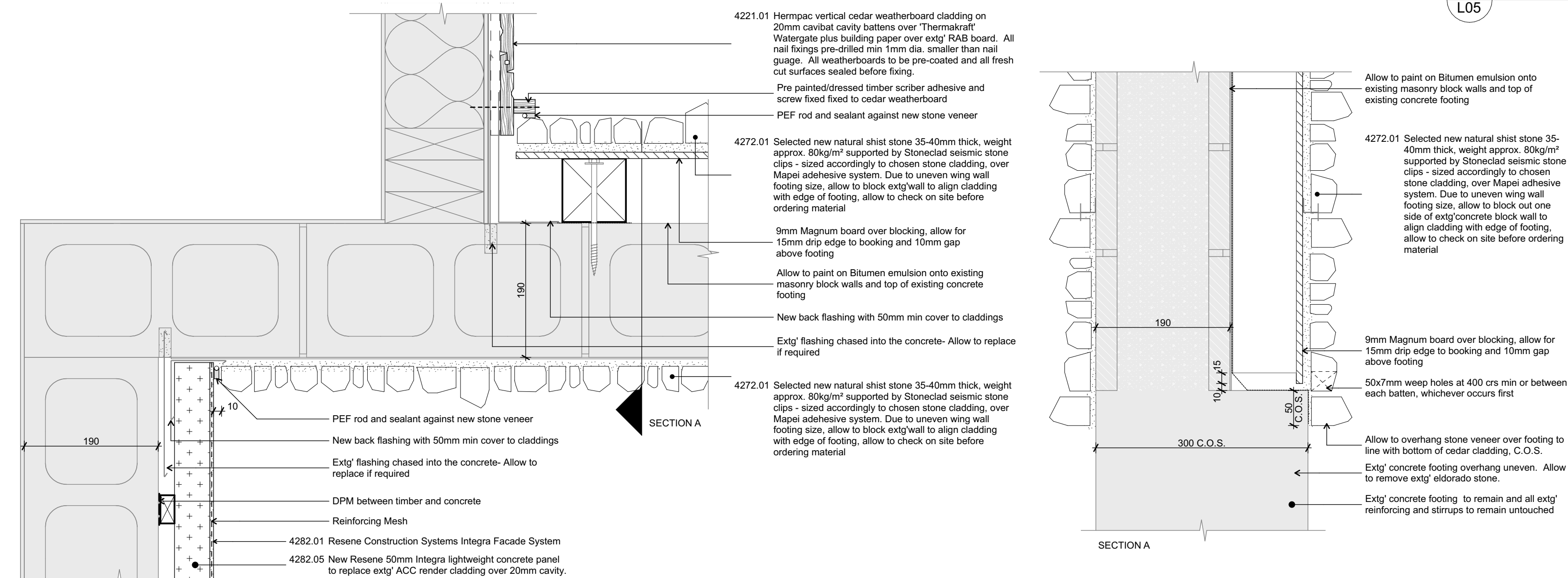
DESIGNED	DRAWN	CHECKED	SCALE	JOB NO.	DRAWING NO.	REVISION	STATUS	ISSUED
SD	KP	SD	1:5	12557-197	A03	E	AMENDMENT E - ARCHITECTURAL SET	23/09/2021
				PAGE 11 OF 15				

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA17_CAD\12557-197_9 Crest Lane_Reclad 6.12.22.dgn



Detail: First Floor Deck Detail

1:5



Detail: Plaster/ Timber / Stone Junction

1:5

Detail: Typical Interstorey Junctions

Amendment #4

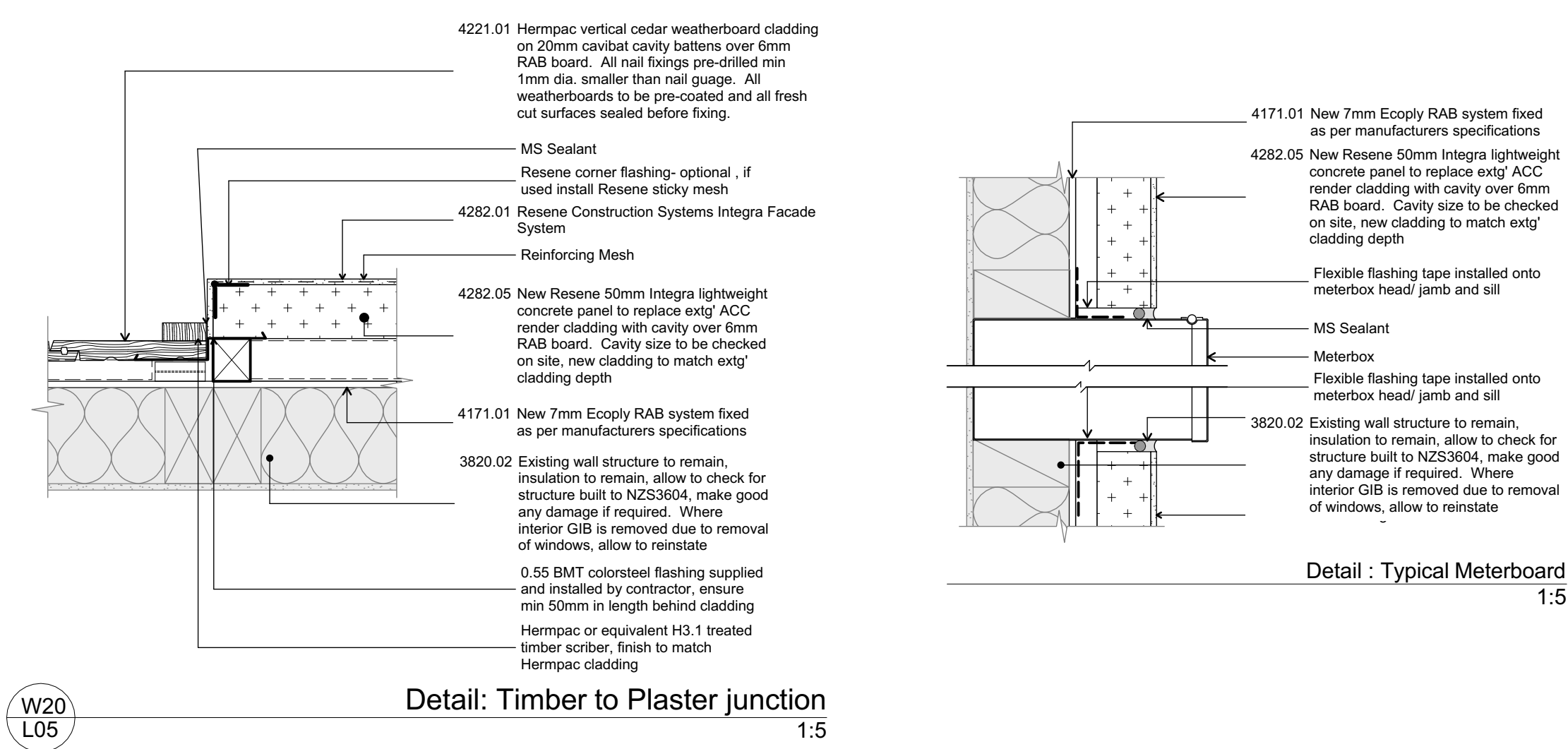


CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

WEATHERTIGHT DETAILS

DESIGNED	INITIAL	ISSUED	
DRAWN	SD	23/09/2021	
CHECKED	KP		
SCALE	SD		
1:5		STATUS	A3 original
		AMENDMENT F -	
		ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION
12557-197		A03	F
		PAGE 11	OF 17



RevID	Comment	Date
B	New Arch. set issued	08.09.21

Christchurch
City Council

BCN/2015/1435

Approved Building Consent
Document

04/10/2021

Page 12 of 32

Copeland, Robert

Amendment #2



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz



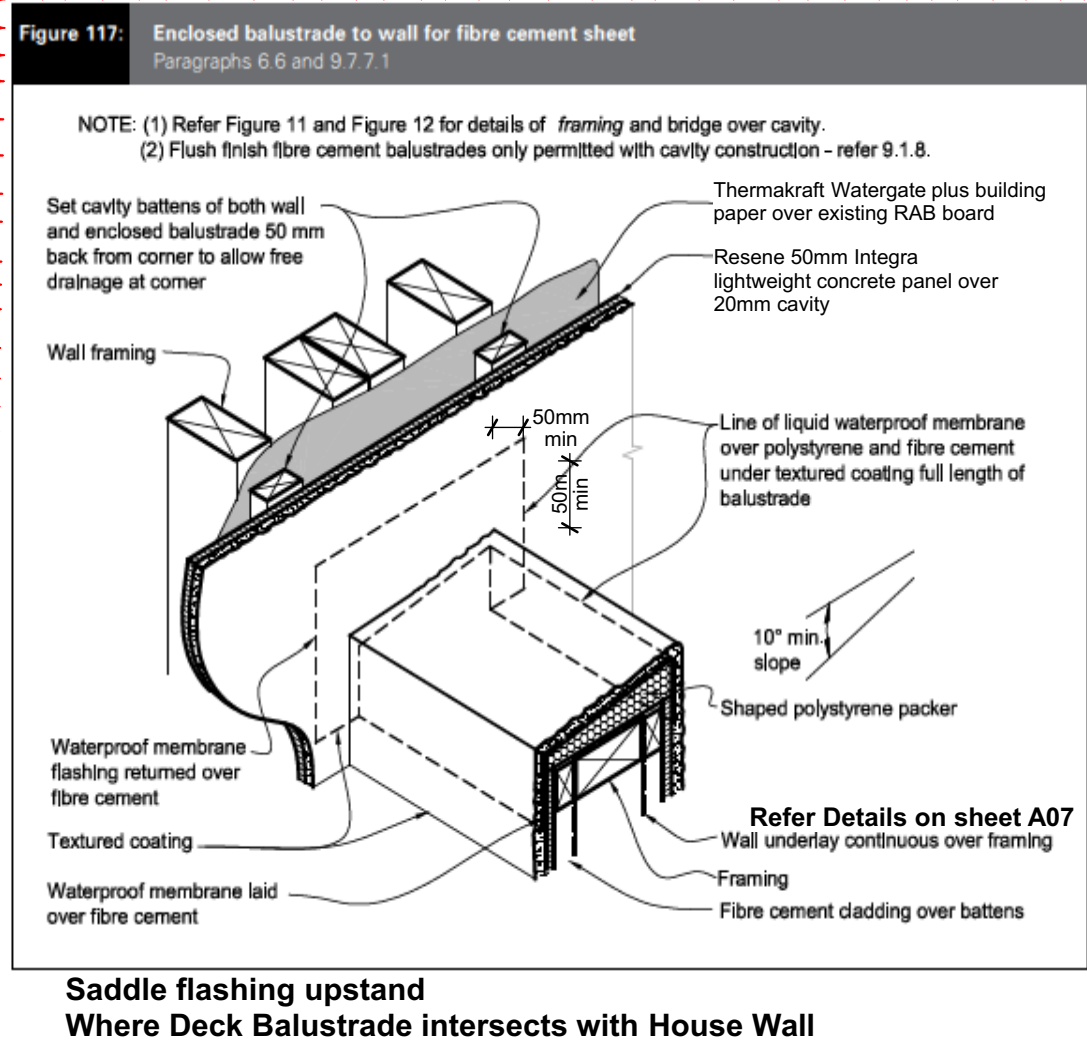
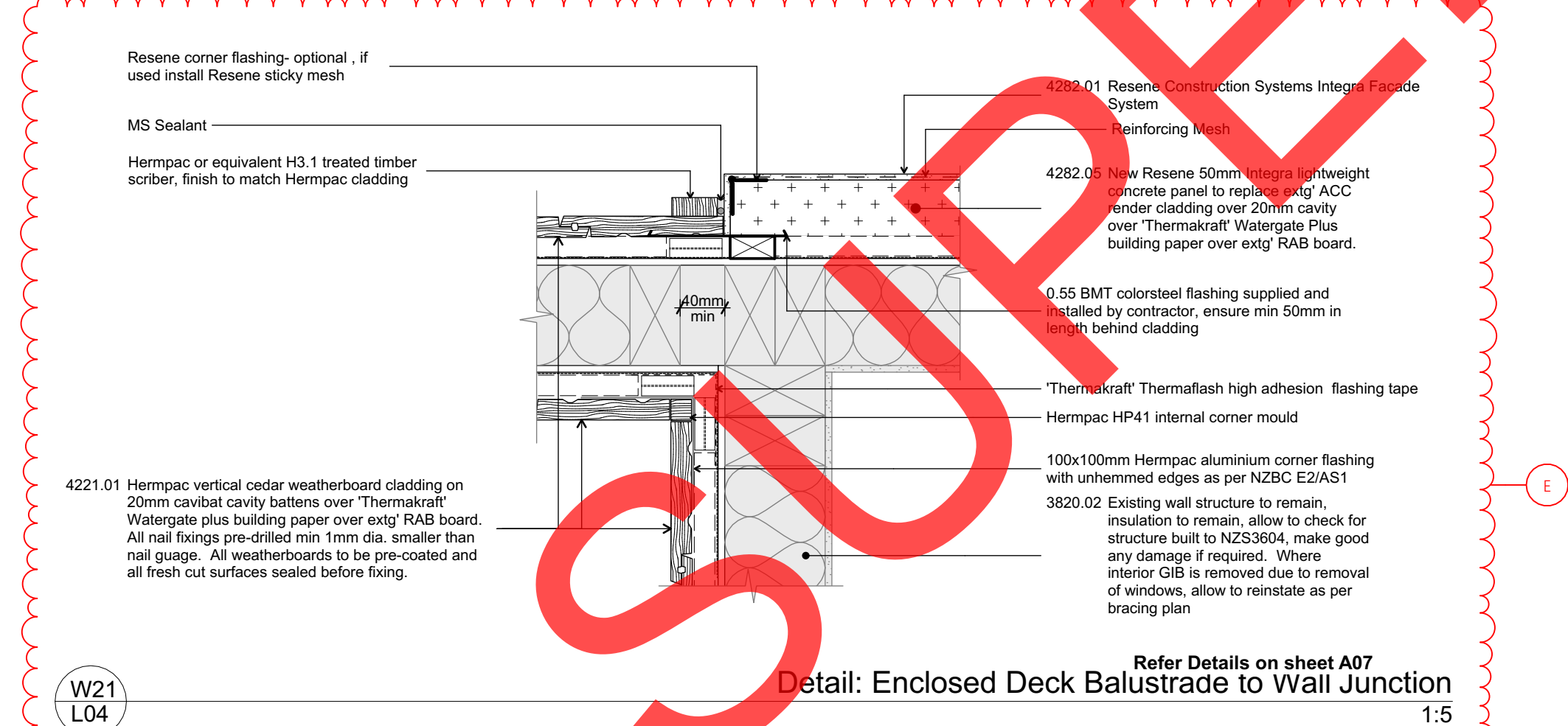
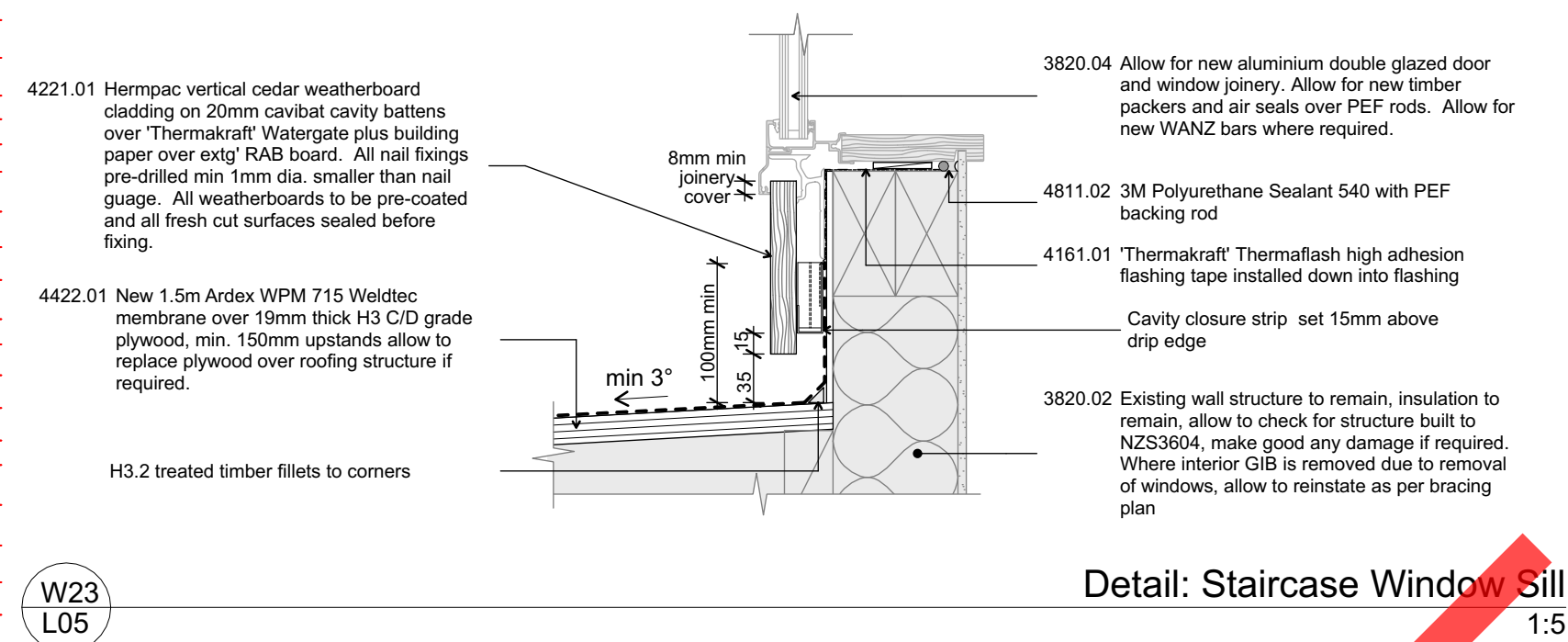
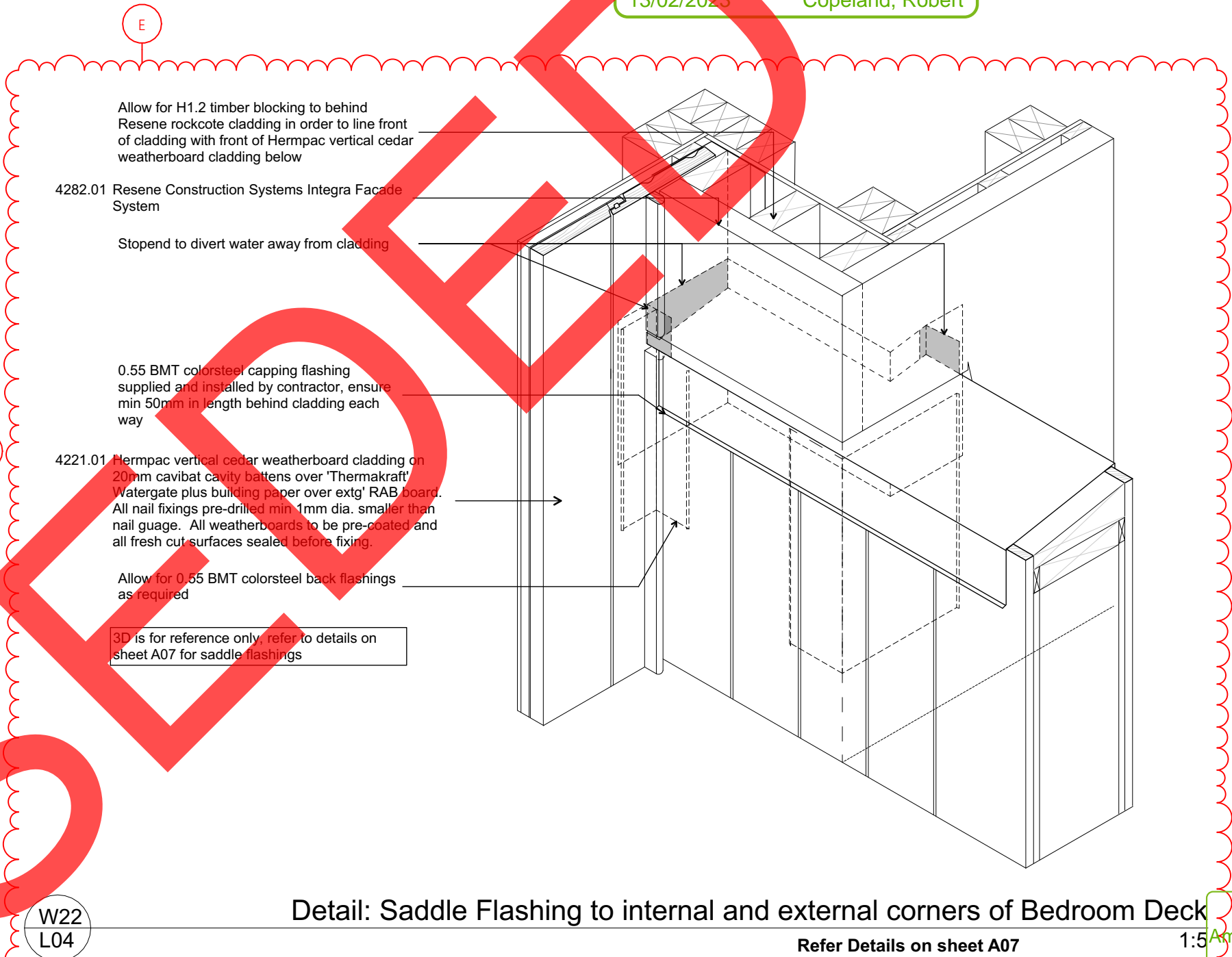
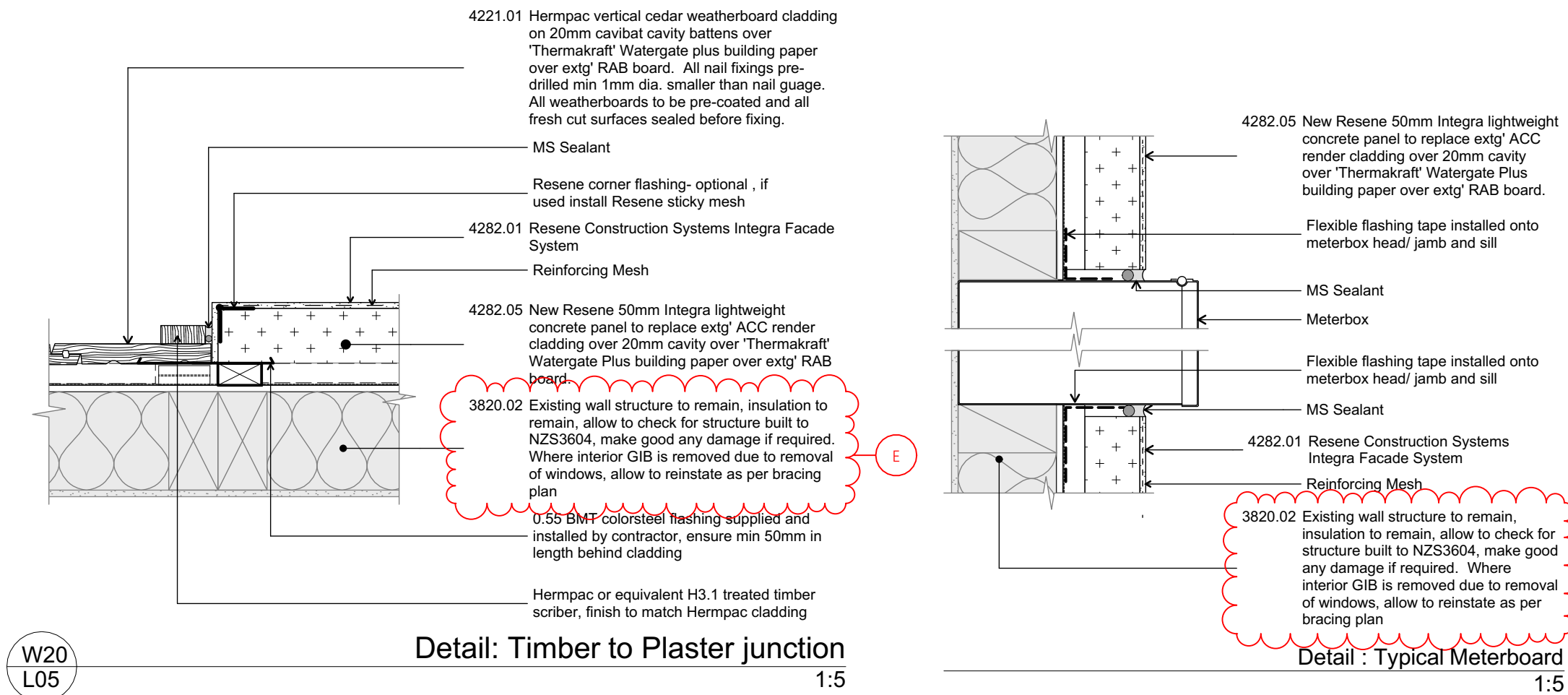
CLIENT / PROJECT
CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

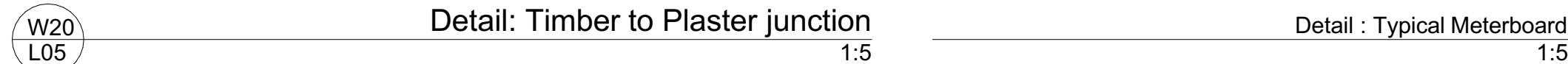
DRAWING TITLE
WEATHERTIGHT DETAILS

INITIAL		ISSUED	
DESIGNED	SD	08/09/2021	
DRAWN	KP		
CHECKED	SD		
SCALE	STATUS		A3 original
1:5	AMENDMENT B - ARCHITECTURAL SET		
JOB NO.	DRAWING NO.		REVISION
12557-197	A04		B
PAGE		12	OF 14

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7 CAD\12557-197 9 Crest Lane_Reclad.dgn

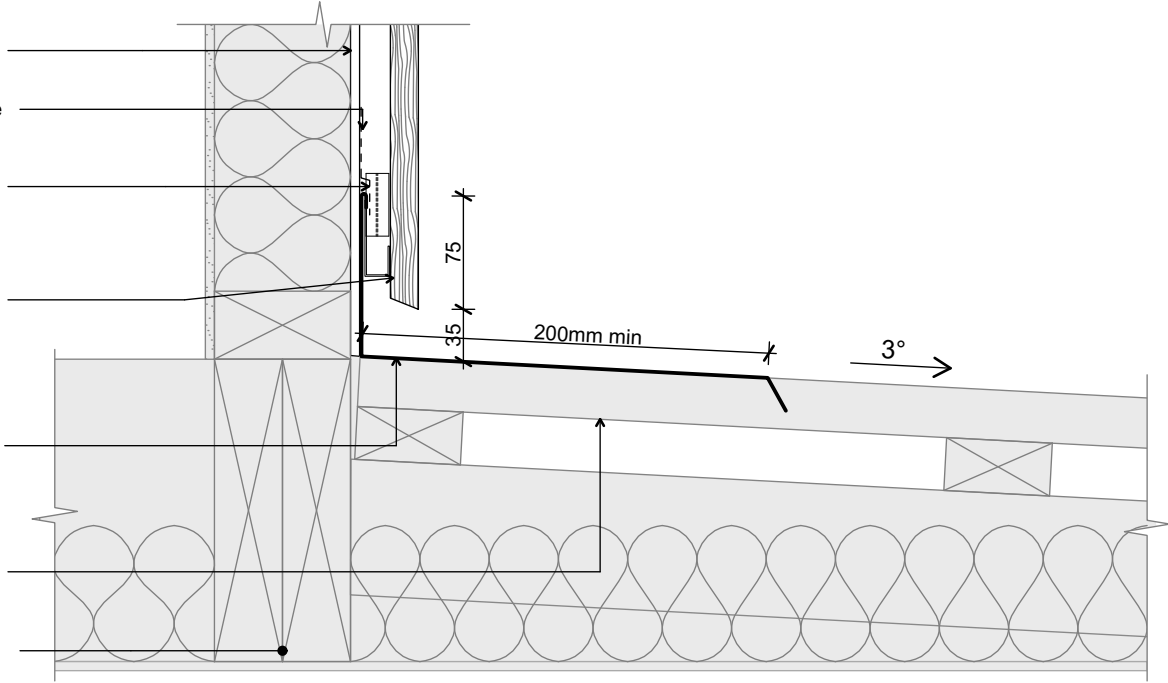
RevID	Comment	Date
BIP	New Arch. set issued	08/09/2021
D	Construction RFI	14.12.22
E	RFI - Parapet Saddle Flashings,Roof & Bracing	24.01.2023





RevID	Comment	Date
B	New Arch. set issued	08.09.21
C	RFI	23.09.21

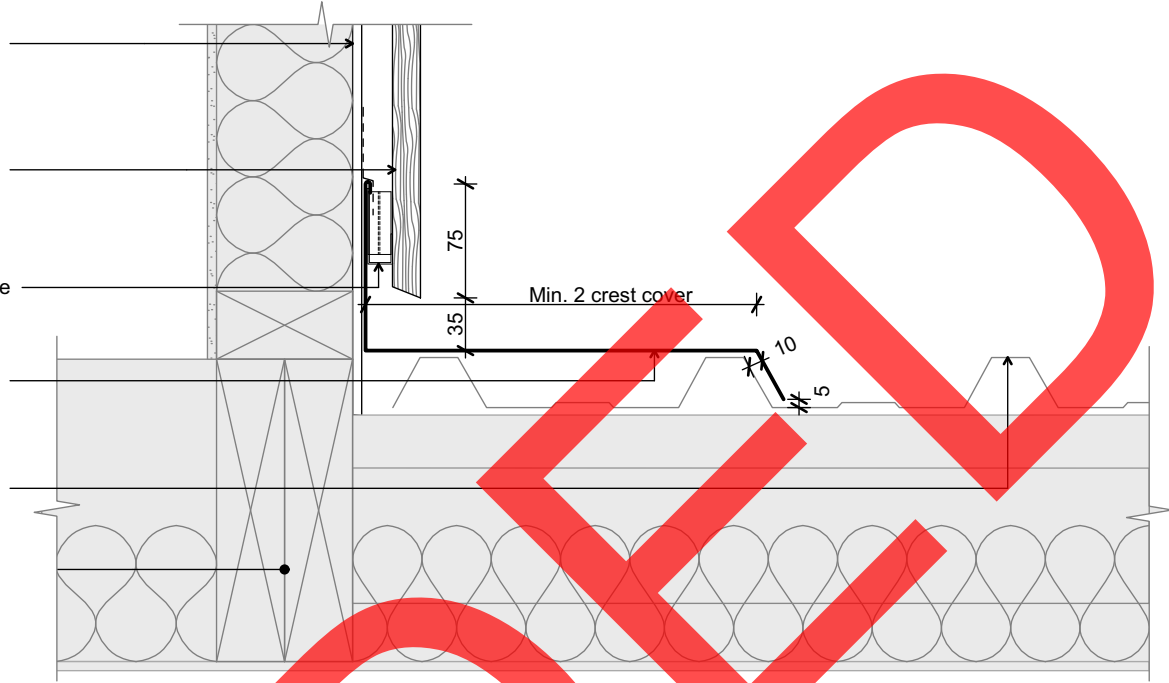
- 4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications
- Cavity closure strip set 15mm above drip edge
- 4161.01 3M all weather flashing tape installed down into flashing
- 4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- 4821.02 0.55BMT Colorsteel flashing to remain, if removal required for installation of new cladding, allow to fit new flashings as per drawing details or NZBC E2 requirements
- 3820.03 Existing roof to remain. Allow to remove gutters to allow for new 30mm thick cedar fascia boards. Allow to install new soffits and cladding. Reinstate gutters and make good. Existing roof and floor structure to remain



W07
L04

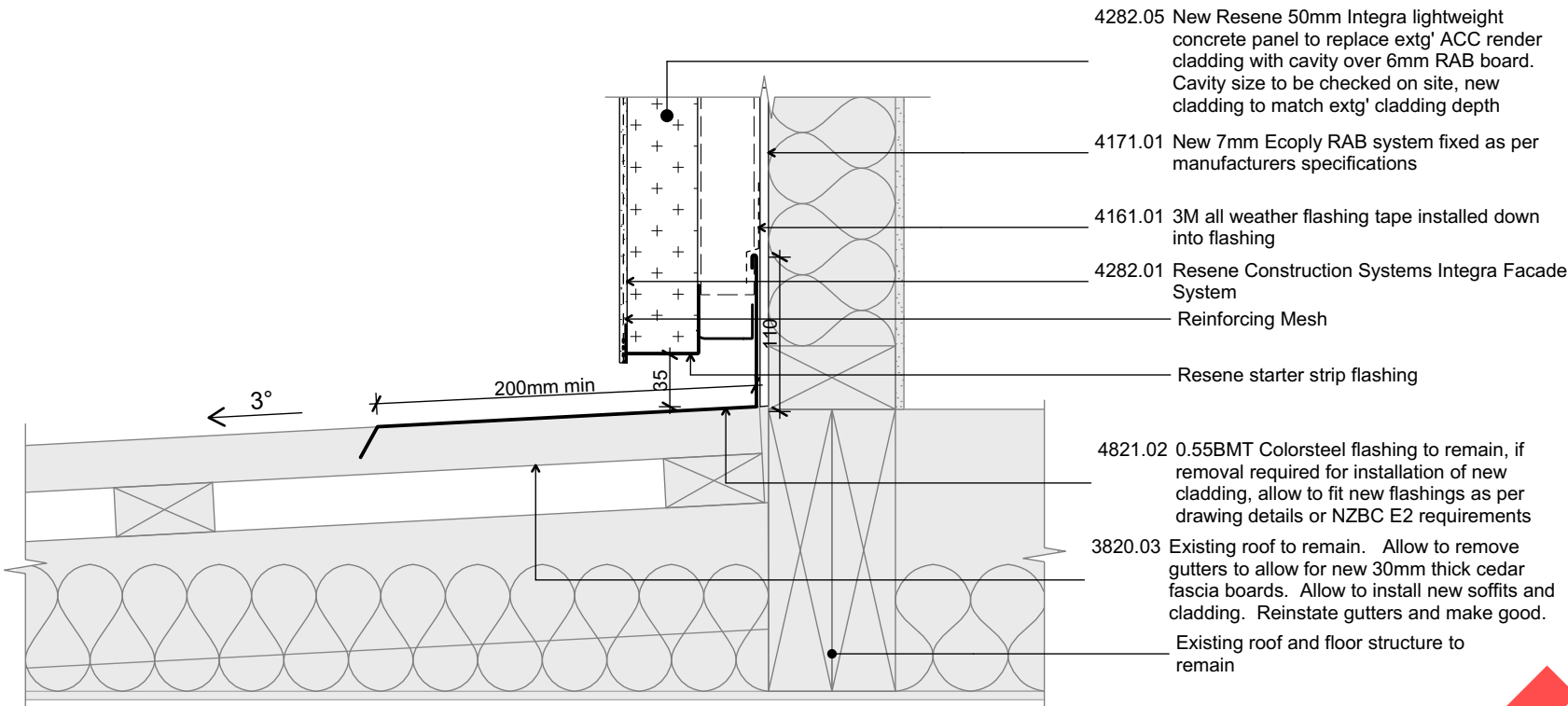
Detail: Timber Cladding Transverse Flashing
1:5

- 4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications
- 4221.01 Hermpac vertical cedar weatherboard cladding on 20mm cavibat cavity battens over 6mm RAB board. All nail fixings pre-drilled min 1mm dia. smaller than nail guage. All weatherboards to be pre-coated and all fresh cut surfaces sealed before fixing.
- Cavity closure strip set 15mm above drip edge
- 4821.02 0.55BMT Colorsteel flashing to remain, if removal required for installation of new cladding, allow to fit new flashings as per drawing details or NZBC E2 requirements
- 3820.03 Existing roof to remain. Allow to remove gutters to allow for new 30mm thick cedar fascia boards. Allow to install new soffits and cladding. Reinstate gutters and make good. Existing roof and floor structure to remain



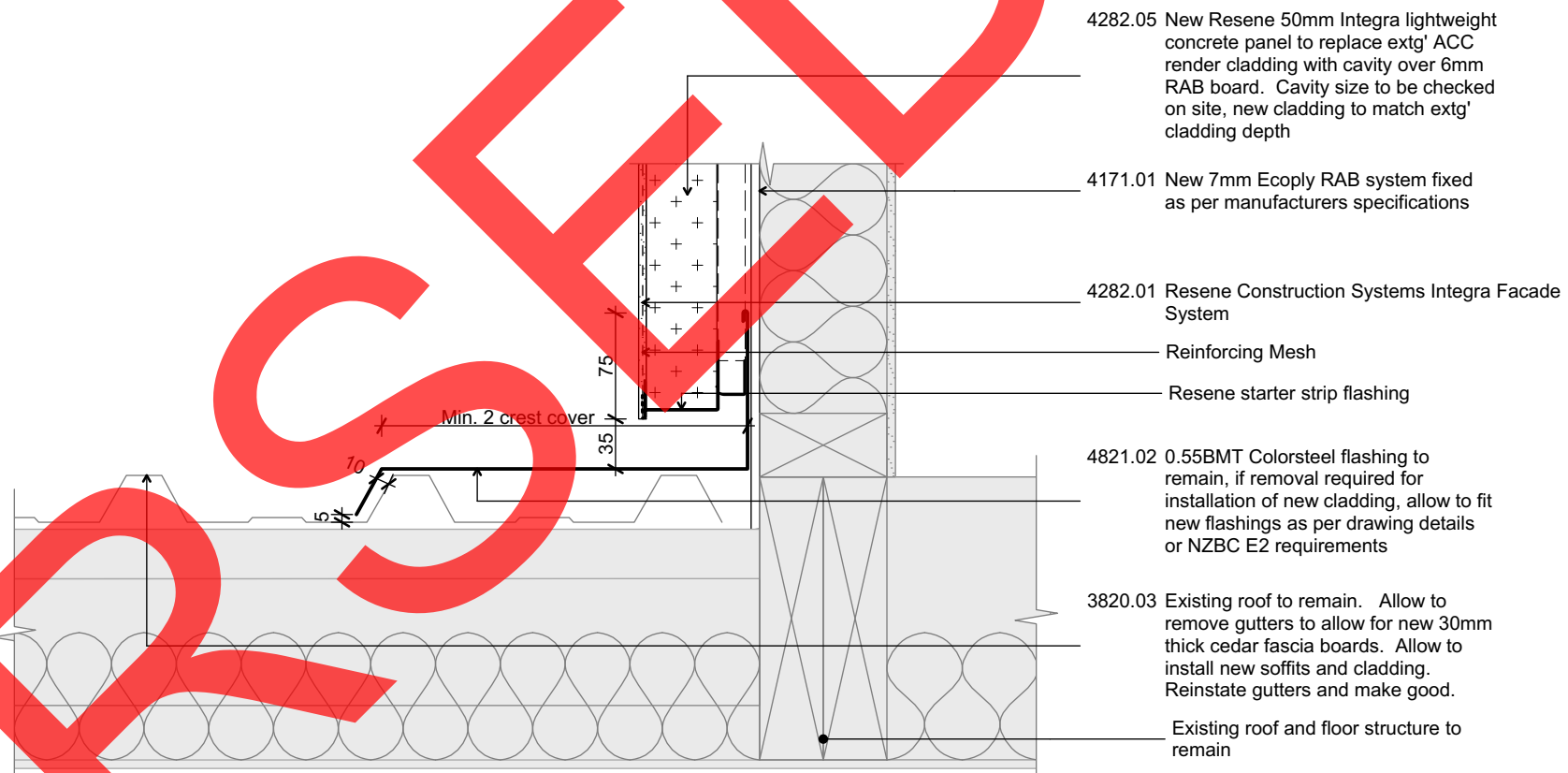
W08
L06

Detail: Timber Cladding Parallel flashing
1:5



W12
L06

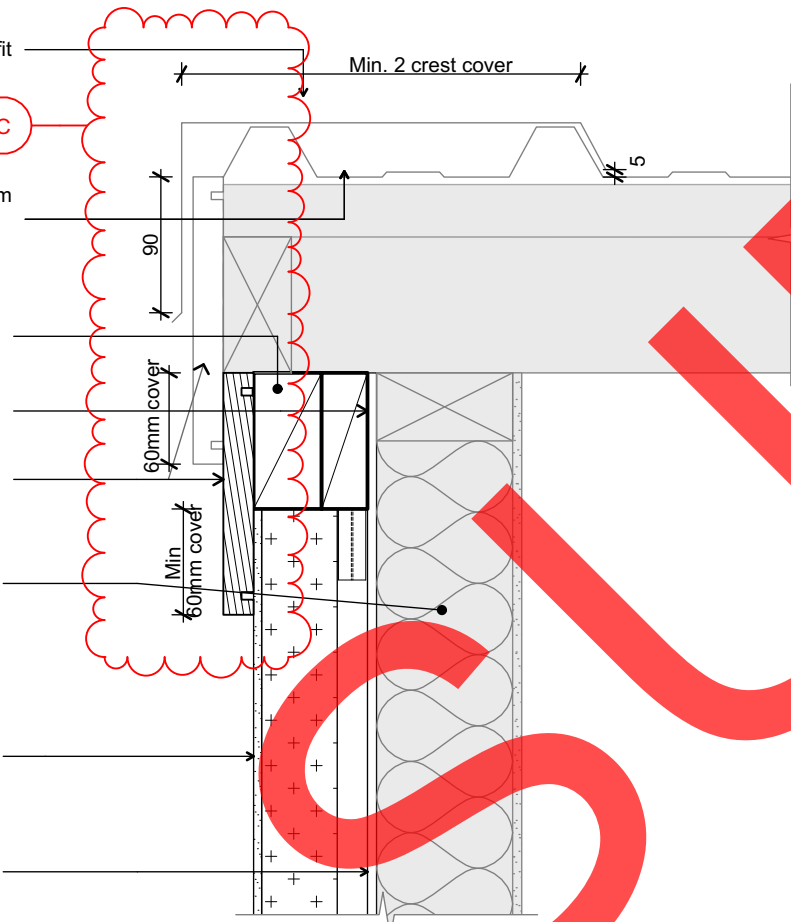
Detail: Plaster Cladding Transverse Flashing
1:5



W09
L04

Detail: Plaster Cladding Parallel Flashing
1:5

- 4821.02 0.55BMT Colorsteel flashing to remain, if removal required for installation of new cladding, allow to fit new flashings as per drawing details or NZBC E2 requirements
- 3820.03 Existing roof to remain. Allow to remove gutters to allow for new 30mm thick cedar fascia boards. Allow to install new soffits and cladding. Reinstate gutters and make good.
- Existing barge blocking to be removed and new smaller blocking installed
- Take RAB board all the way to top of framing
- Allow for 2 new 30mm thick cedar fascia boards to replace existing
- 3820.02 Existing wall structure to remain, insulation to remain, allow to check for structure built to NZS3604, make good any damage if required. Where interior GIB is removed due to removal of windows, allow to reinstate
- 4282.05 New Resene 50mm Integra lightweight concrete panel to replace extg' ACC render cladding with cavity over 6mm RAB board. Cavity size to be checked on site, new cladding to match extg' cladding depth
- 4171.01 New 7mm Ecoply RAB system fixed as per manufacturers specifications



W14
L04

Detail: Typical Barge
1:5

Amendment #2

Amendment C - 22.09.21



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960
ccl@coco.co.nz
www.coco.co.nz



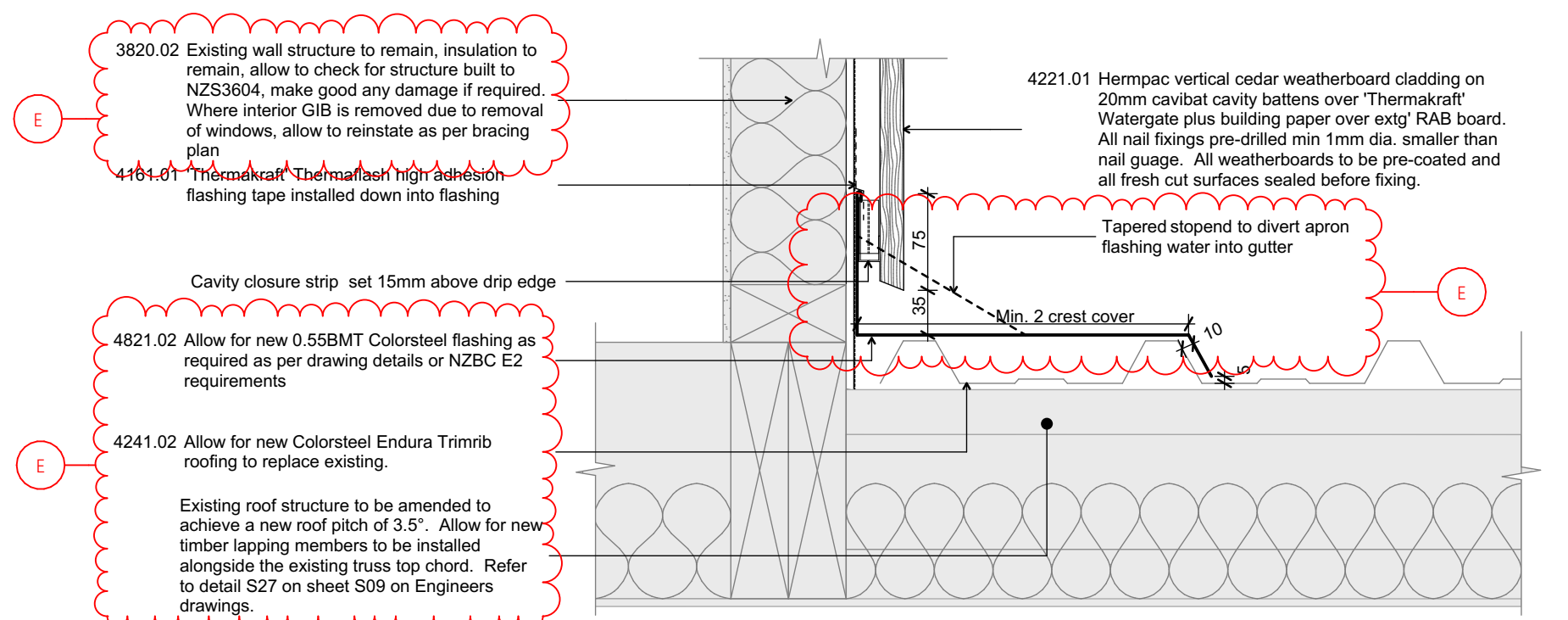
CLIENT / PROJECT
CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE
ROOF DETAILS

INITIAL		ISSUED	
DESIGNED	SD	23/09/2021	
DRAWN	KP		
CHECKED	SD		
SCALE		STATUS A3 original	
1:5		AMENDMENT B - ARCHITECTURAL SET	
JOB NO.		REVISION	
12557-197		A05 C	
		PAGE 13 OF 14	

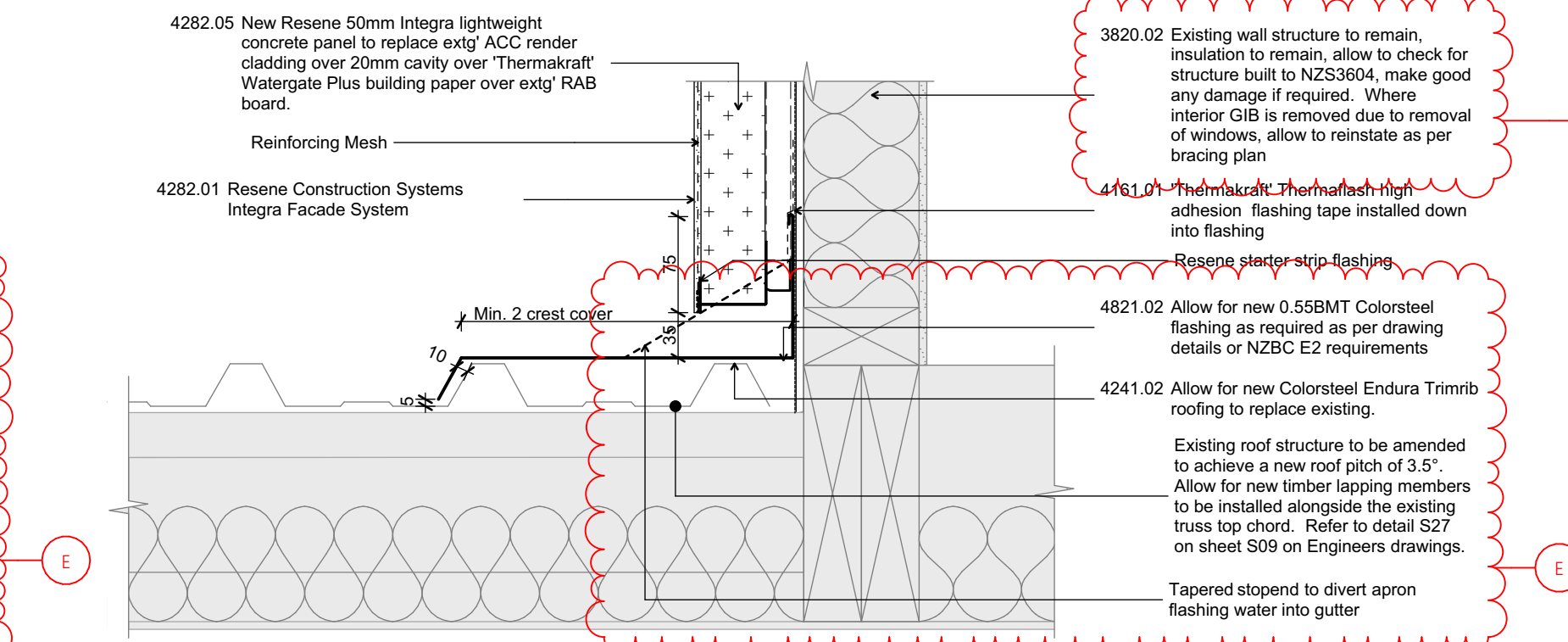
FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7 CAD\12557-197 9 Crest Lane_Reclad.jrn


Page 13 of 38
BCN/2015/1435
 Approved Building Consent
 Document
 13/02/2023 Copeland, Robert



Detail: Timber Cladding Parallel flashing

1:5



Detail: Plaster Cladding Parallel Flashing

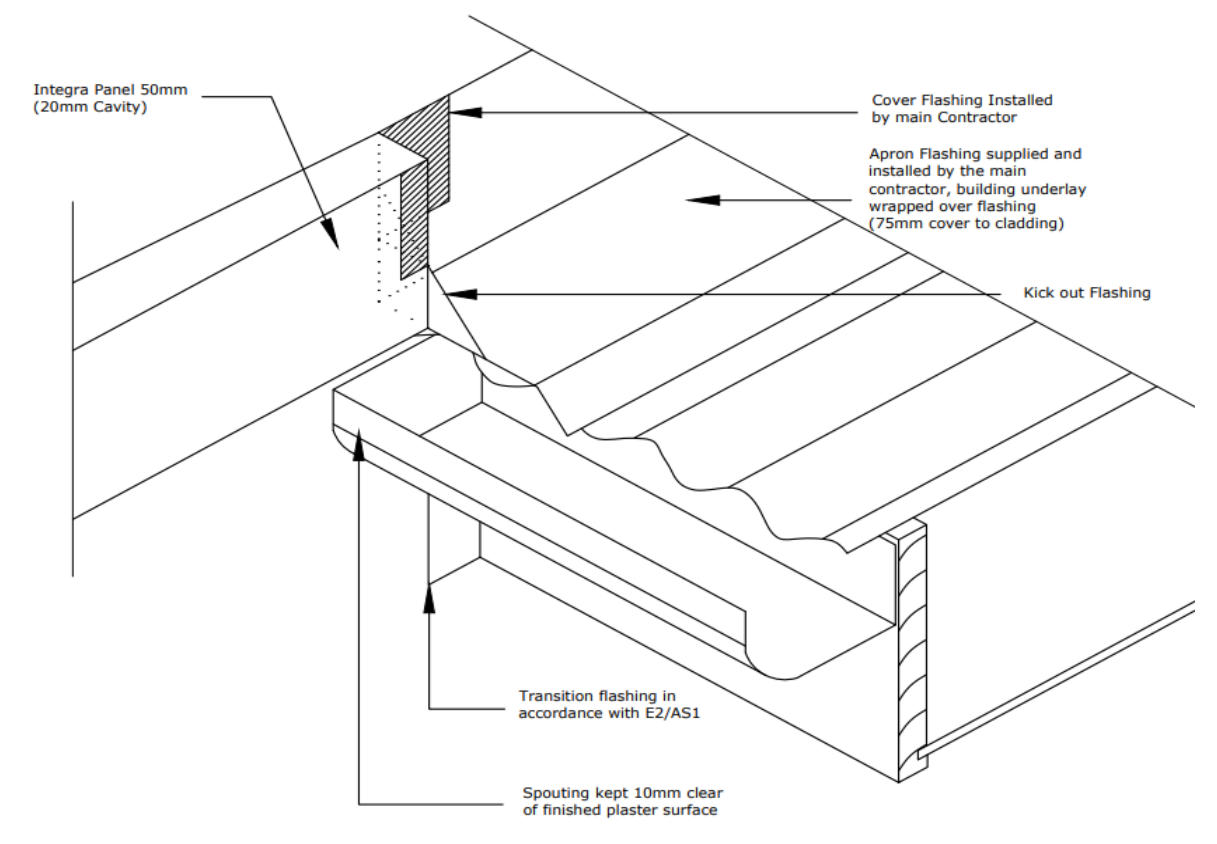
1:5

Figure 8B: Gutter/wall junction
Paragraphs 5.1 and 5.2

NOTE: (1) The upstand at the lower edge of the *apron flashing* may be performed to a larger size and then trimmed on site to suit.
(2) The *transition flashing* bridges gap at the end of the fascia to protect the soffit framing.
(3) *Wall underlay* omitted for clarity.

The diagram illustrates the assembly of a gutter system at a wall junction. Key components and labels include:

- Apron flashing upstand behind cladding and wall underlay**: Points to the vertical flashing at the top of the wall.
- Finished wall cladding**: Points to the horizontal siding on the wall.
- Base of cladding**: Points to the bottom edge of the wall cladding.
- Apron flashing**: Points to the horizontal flashing at the base of the wall.
- Roofing**: Points to the roof tiles.
- Eave soffit lining**: Points to the underside of the roof eave.
- Fascia**: Points to the horizontal board at the end of the roof.
- Transition tray flashing extended to underside of roofing with material options from Paragraphs 4.3 - 4.38 inclusive**: Points to the flashing at the junction of the roof and wall.
- Stop spouting min. 10 mm clear of finished wall cladding**: Points to the gutter stop.
- 10 mm**: Indicates the clearance between the gutter stop and the wall cladding.
- Tapered stopend to divert apron flashing water into gutter**: Points to the tapered stopend of the gutter.
- Fall**: Indicates the slope of the gutter.



Amendment C - 22.09.21



cook | Costello



CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

ROOF DETAILS

DESIGNED	SD	ISSUED	
DRAWN	KP	23/09/2021	
CHECKED	SD		
SCALE		STATUS	A3 original
1:5		AMENDMENT E - ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION
12557-197		A05	E
		PAGE 13	OF 15

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7. CAD\12557-197 9 Crest Lane. Reclad 6.12.22.pln

RevID	Comment	Date
B	New Arch. set issued	08.09.21
C	RFI	23.09.21

Christchurch
City Council



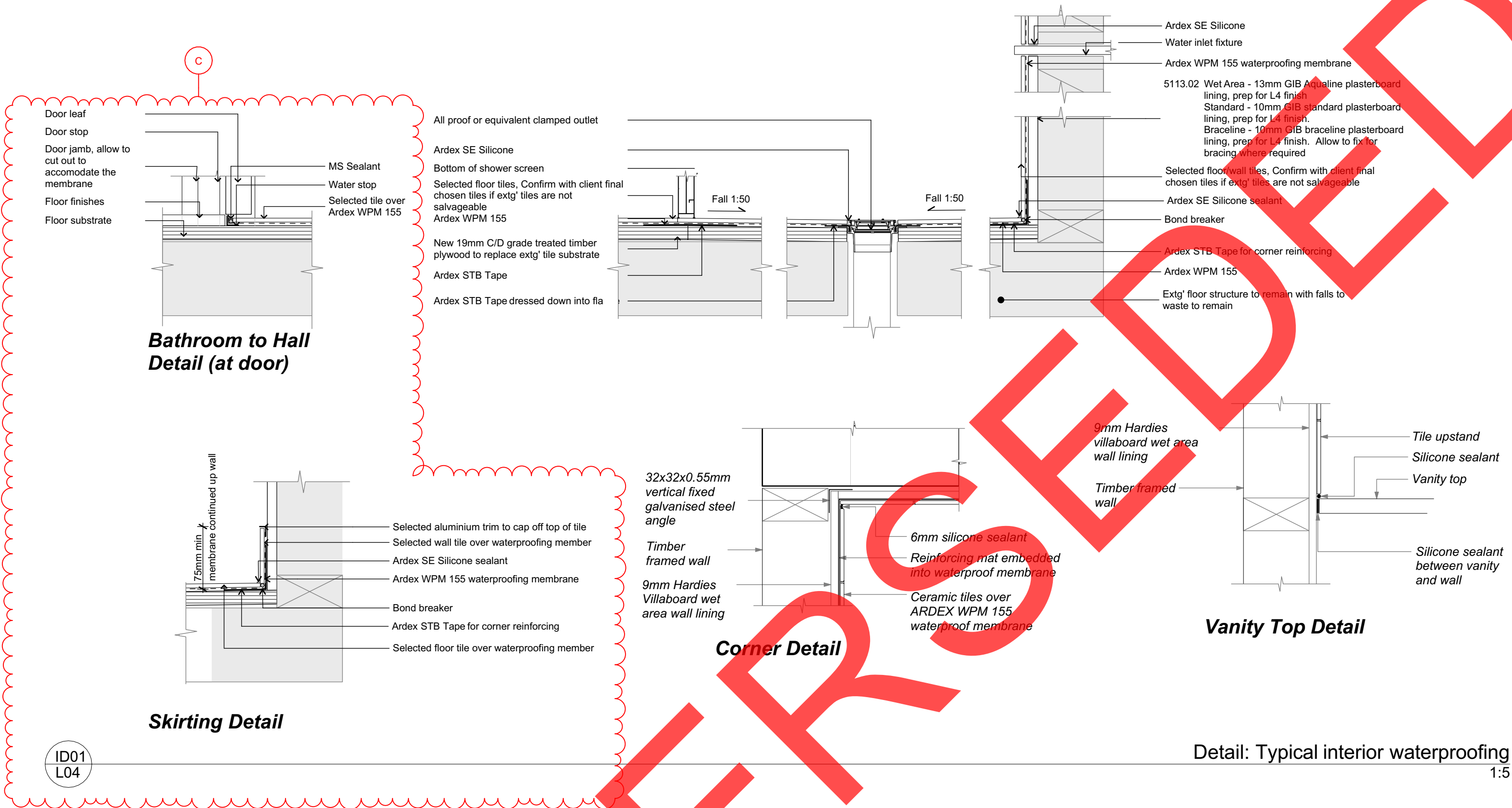
Page 14 of 32

BCN/2015/1435

Approved Building Consent
Document

04/10/2021

Copeland, Robert



Amendment #2



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960



ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

PLUMBING DETAILS

INITIAL		ISSUED	
DESIGNED	SD	23/09/2021	
DRAWN	KP		
CHECKED	SD		
SCALE		STATUS A3 original	
		AMENDMENT B - ARCHITECTURAL SET	
JOB NO.	DRAWING NO.	REVISION	
12557-197	A06	C	
		PAGE	14 OF 14

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7 CAD\12557-197 9 Crest Lane_Reclad.dgn

RevID	Comment	Date
B	New Arch. set issued	08.09.21
C	RFI	23.09.21

Christchurch
City Council

BCN/2015/1435

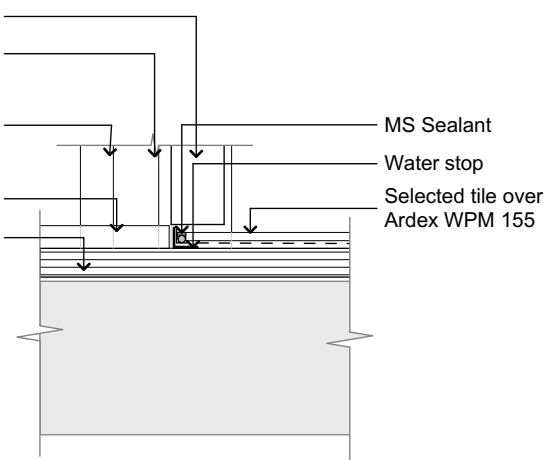
Approved Building Consent
Document

13/02/2023

Copeland, Robert

Page 14 of 38

Door leaf
Door stop
Door jamb, allow to
cut out to
accomodate the
membrane
Floor finishes
Floor substrate



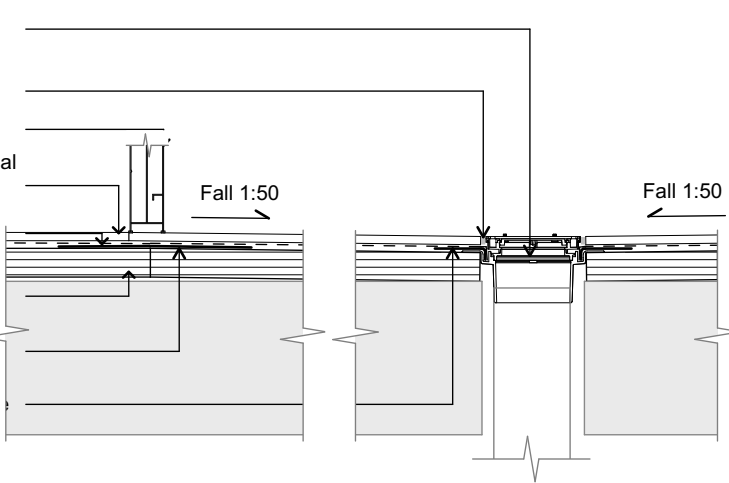
Bathroom to Hall
Detail (at door)

All proof or equivalent clamped outlet

Ardex SE Silicone
Bottom of shower screen
Selected floor tiles, Confirm with client final
chosen tiles if extg' tiles are not
salvageable
Ardex WPM 155

New 19mm C/D grade treated timber
plywood to replace extg' tile substrate
Ardex STB Tape

Ardex STB Tape dressed down into fla



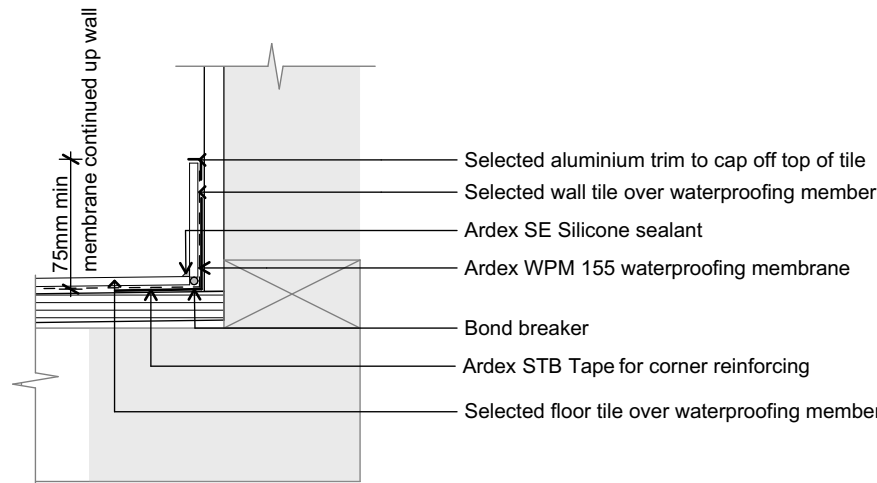
Ardex SE Silicone
Water inlet fixture
Ardex WPM 155 waterproofing membrane

5113.02 Wet Area - 13mm GIB Aqualine plasterboard
lining, prep for L4 finish
Standard - 10mm GIB standard plasterboard
lining, prep for L4 finish.
Braceline - 10mm GIB braceline plasterboard
lining, prep for L4 finish. Allow to fix for
bracing where required

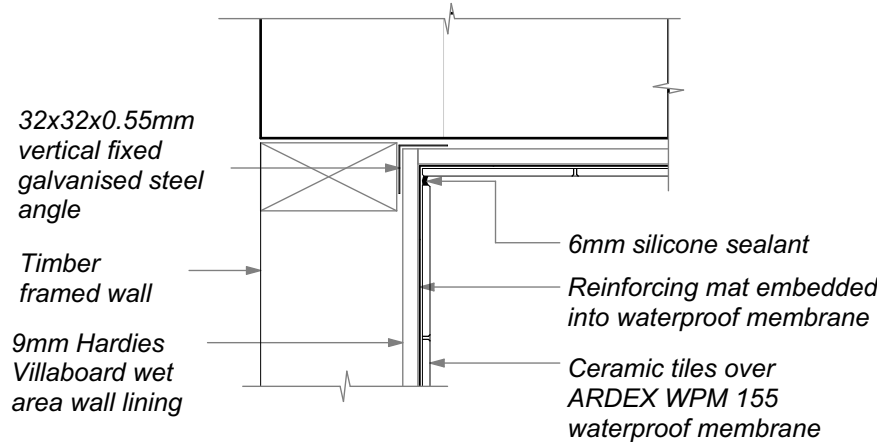
Selected floor/wall tiles, Confirm with client final
chosen tiles if extg' tiles are not salvageable
Ardex SE Silicone sealant
Bond breaker

Ardex STB Tape for corner reinforcing
Ardex WPM 155

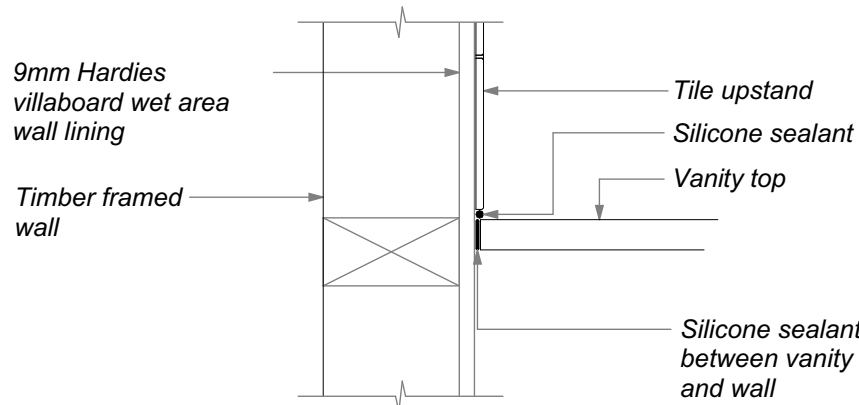
Extg' floor structure to remain with falls to
waste to remain



Skirting Detail



Corner Detail



Vanity Top Detail

Amendment #3

ID01
L04

Detail: Typical interior waterproofing
1:5

cook | Costello

Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz



CLIENT / PROJECT

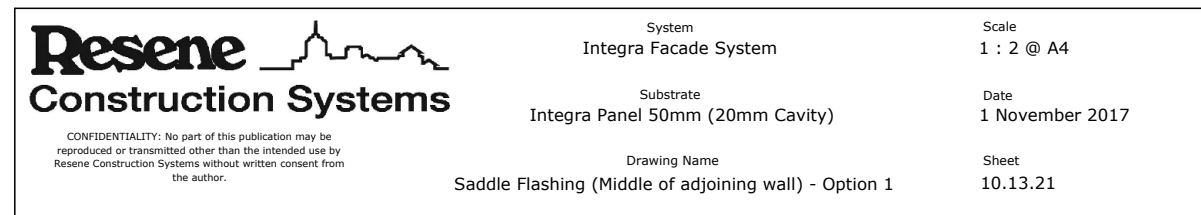
CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

PLUMBING DETAILS

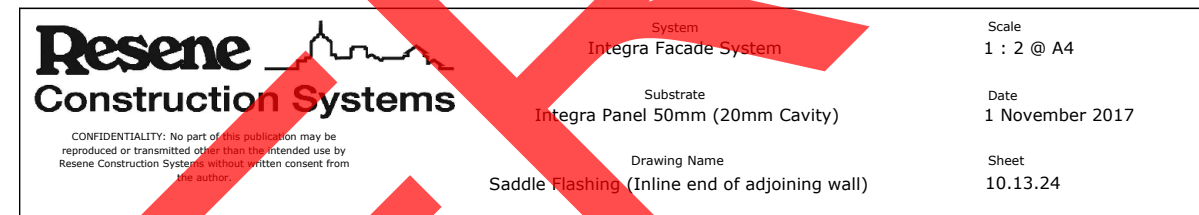
DESIGNED		INITIAL	ISSUED
DRAWN		SD	23/09/2021
CHECKED		KP	
		SD	
SCALE		STATUS A3 original	
		AMENDMENT E -	
		ARCHITECTURAL SET	
JOB NO.		DRAWING NO.	REVISION
12557-197		A06	C
		PAGE	14 OF 15

FILE: Z:\12500-12999\12557\12557-197_ 9 Crest Lane- SA\7. CAD\12557-
197 9 Crest Lane_Reclad 6.12.22.dgn

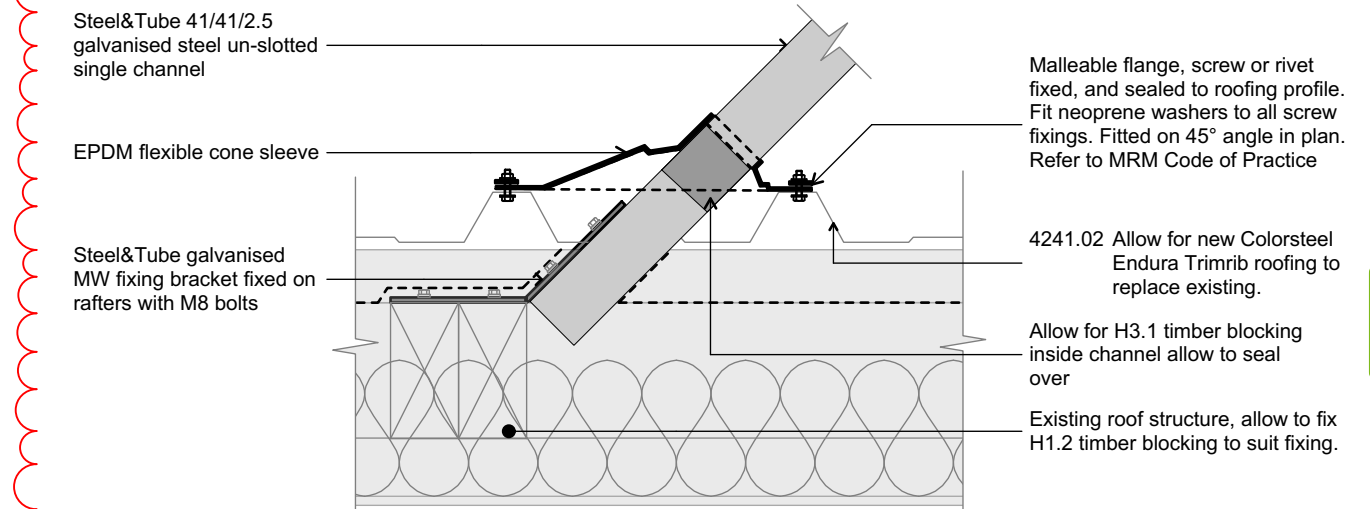


Detail: Saddle Flashing Details to Bedroom Deck

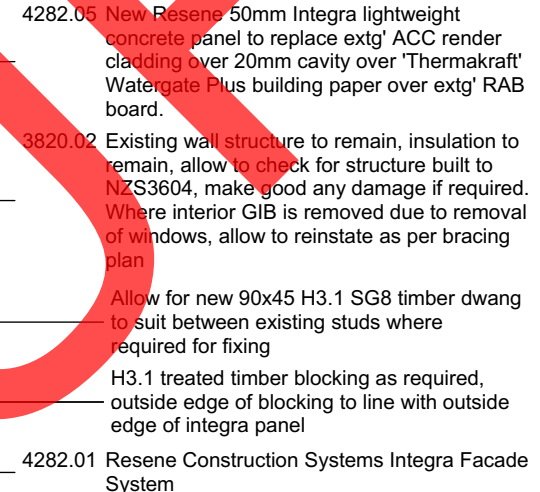
Not to scale



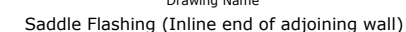
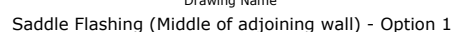
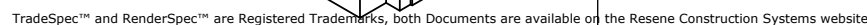
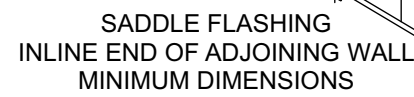
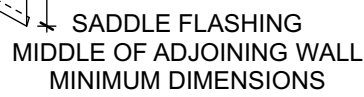
Detail: Flue Support to Rafter Connection



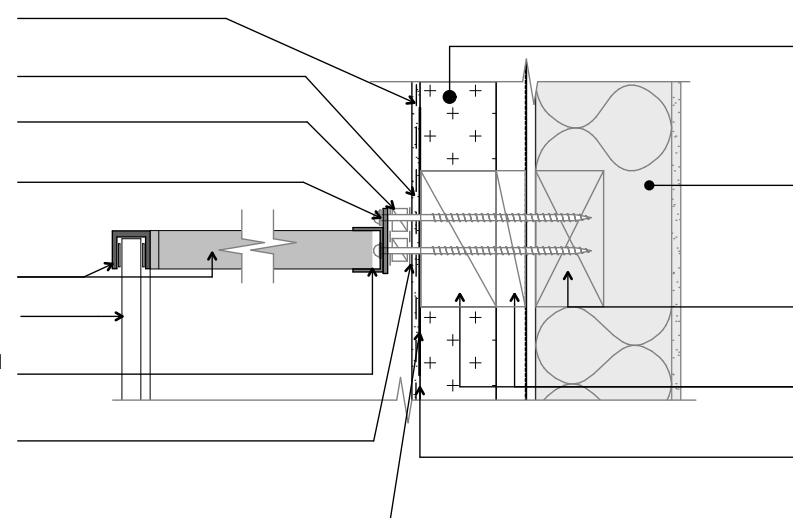
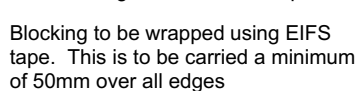
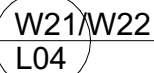
amendment #3



Detail: Balustrade Top Rail Connection



Not to scale



4282.01 Resene Construction Systems Integra Facade System

1:5



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960

ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT

CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

SADDLE FLASHING DETAILS

DESIGNED	INITIAL	ISSUED
DRAWN	SD	
CHECKED	KP	
	SD	
SCALE	STATUS	A3 original
	AMENDMENT F -	
	ARCHITECTURAL SET	
JOB NO.	DRAWING NO.	REVISION
	A07	F
12557-197	PAGE 15	OF 17

FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7. CAD\12557-197 9 Crest Lane. Reclad 6.12.22.pln

RevID	Comment	Date
E	New Sheet	24.01.2023

Christchurch
City Council



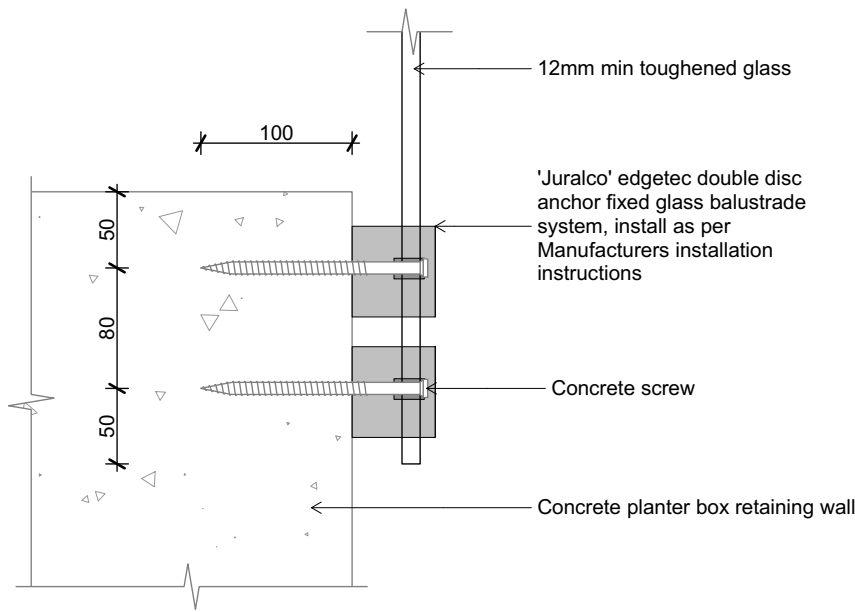
BCN/2015/1435

Approved Building Consent
Document

13/02/2023

Copeland, Robert

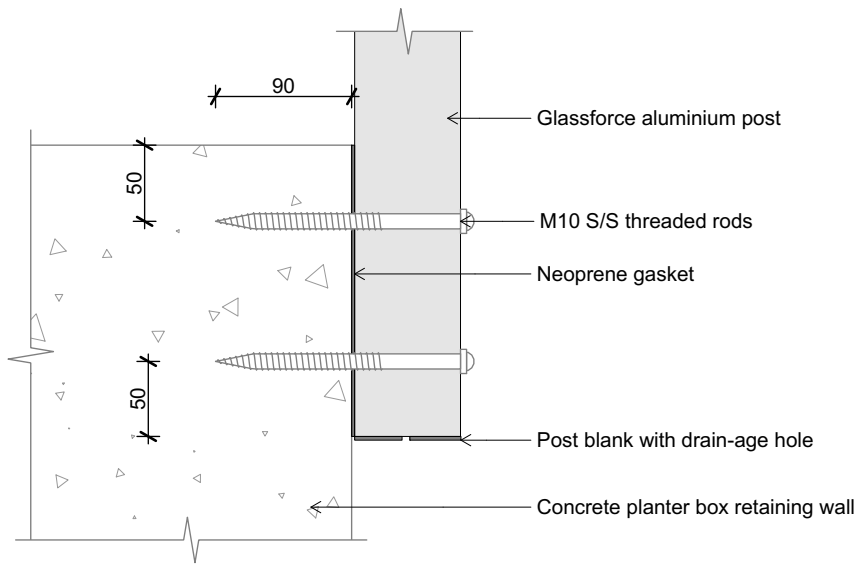
Page 16 of 38



W27
L04

Detail: Glass Balustrade Face Fixed to Concrete

1:5



W28
L04

Detail: Balustrade Post Face Fixed to Concrete

1:5

Amendment #3



Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960
ccl@coco.co.nz
www.coco.co.nz



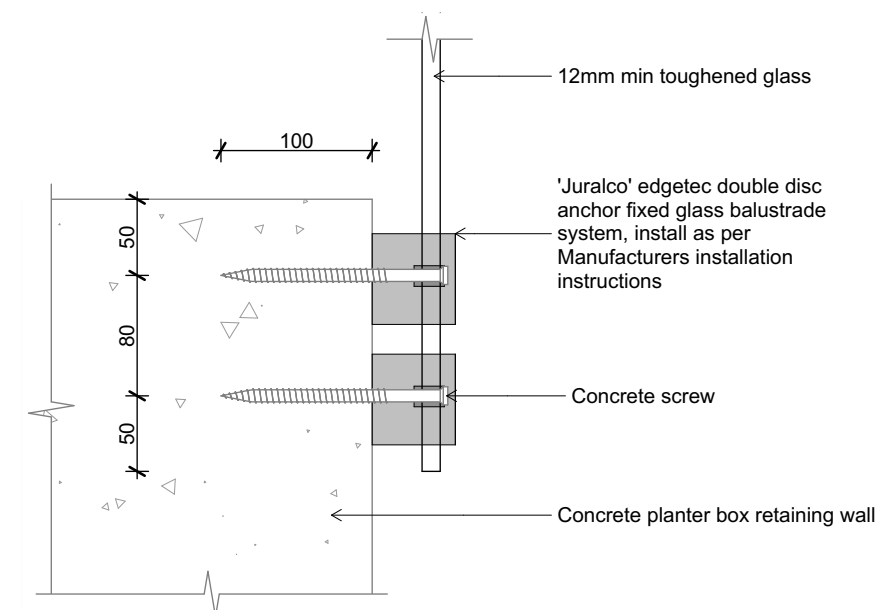
CREST LANE RECLAD
9 CREST LANE , REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE

BLAUSTRAD E DETAILS

INITIAL		ISSUED
DESIGNED	SD	
DRAWN	KP	
CHECKED	SD	
SCALE	STATUS A3 original AMENDMENT E - ARCHITECTURAL SET	
JOB NO.	DRAWING NO.	REVISION
12557-197	A08	E
PAGE 16		OF 16

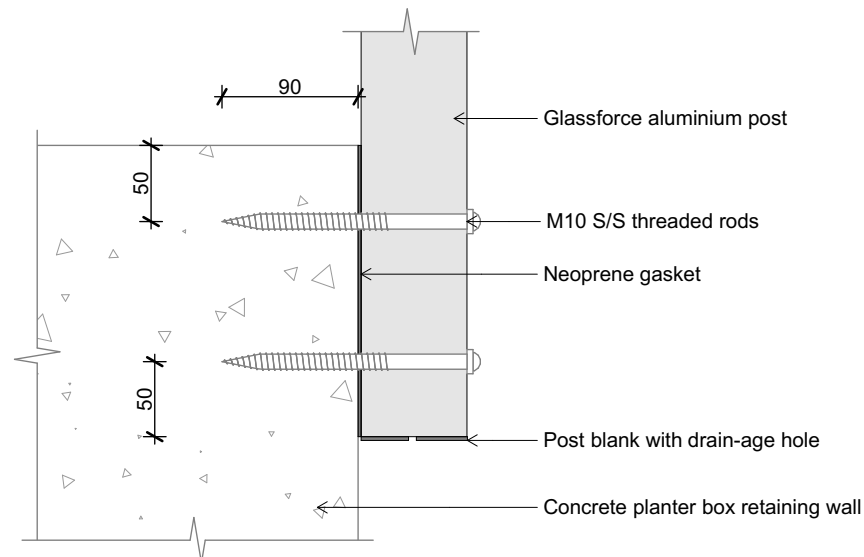
FILE: Z:\12500-12999\12557\12557-197_9 Crest Lane- SA\7_CAD\12557-197_9 Crest Lane_Reclad 6.12.22.dgn



W27
L04

Detail: Glass Balustrade on Concrete

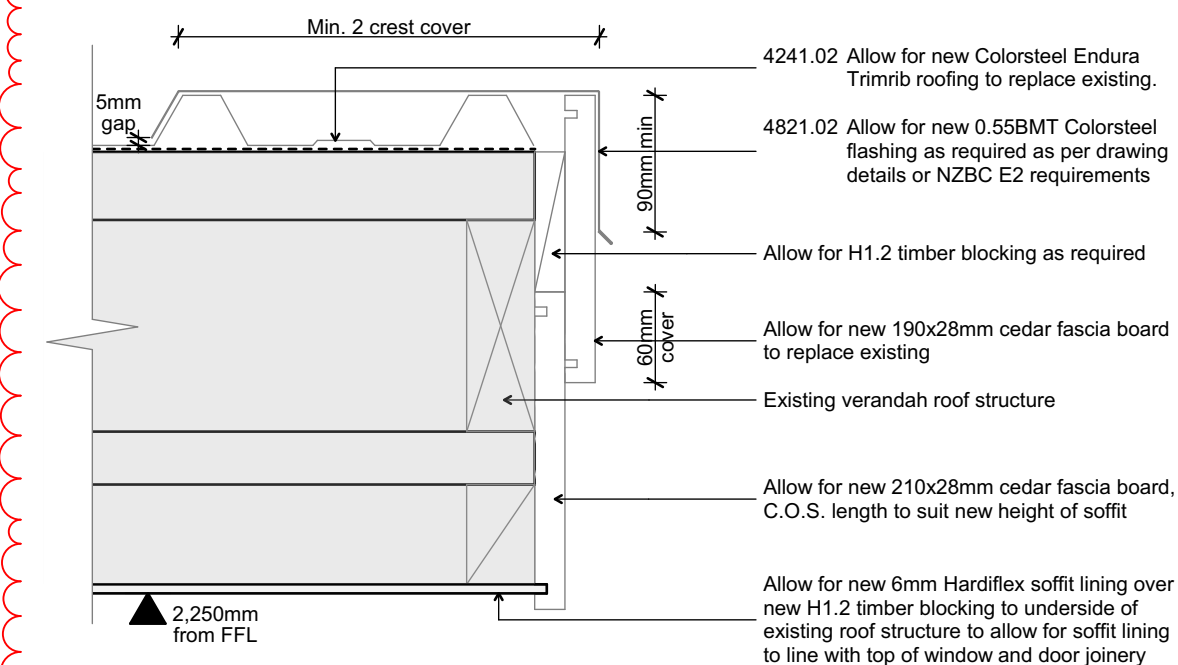
1:5



W28
L04

Detail: Balustrade Post on Concrete

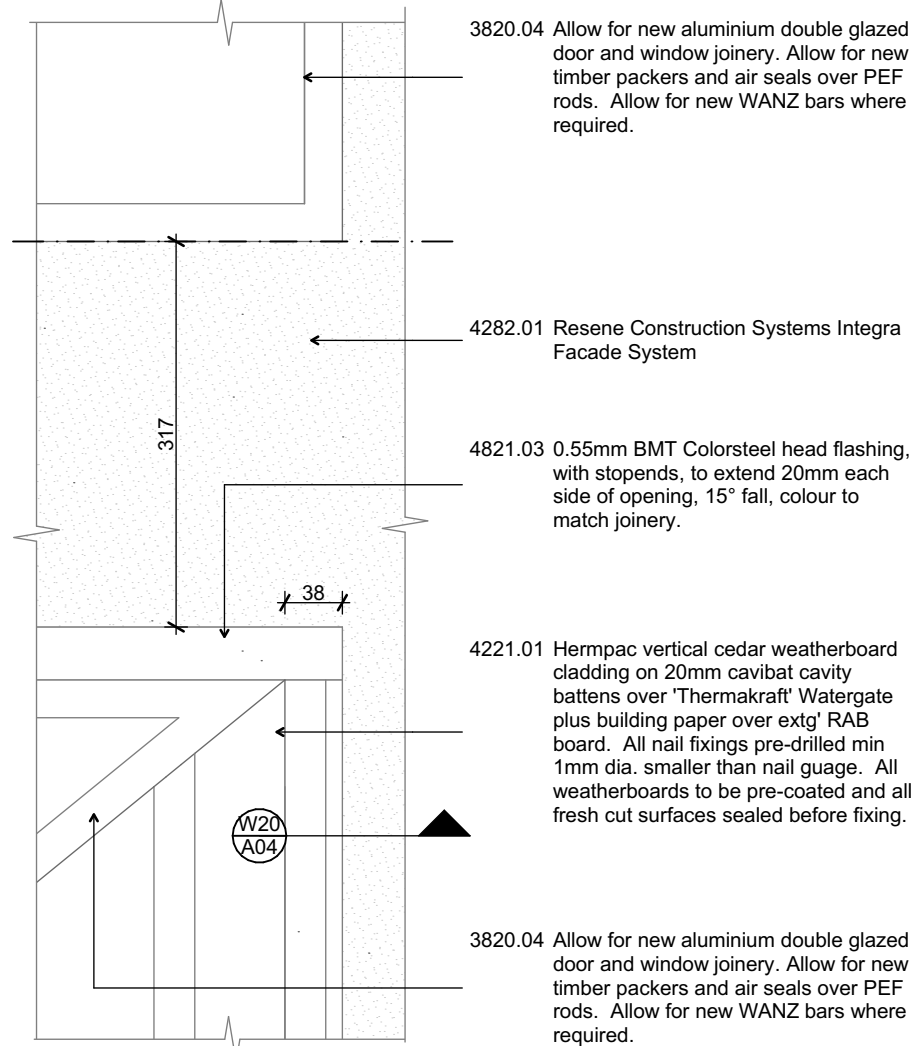
1:5



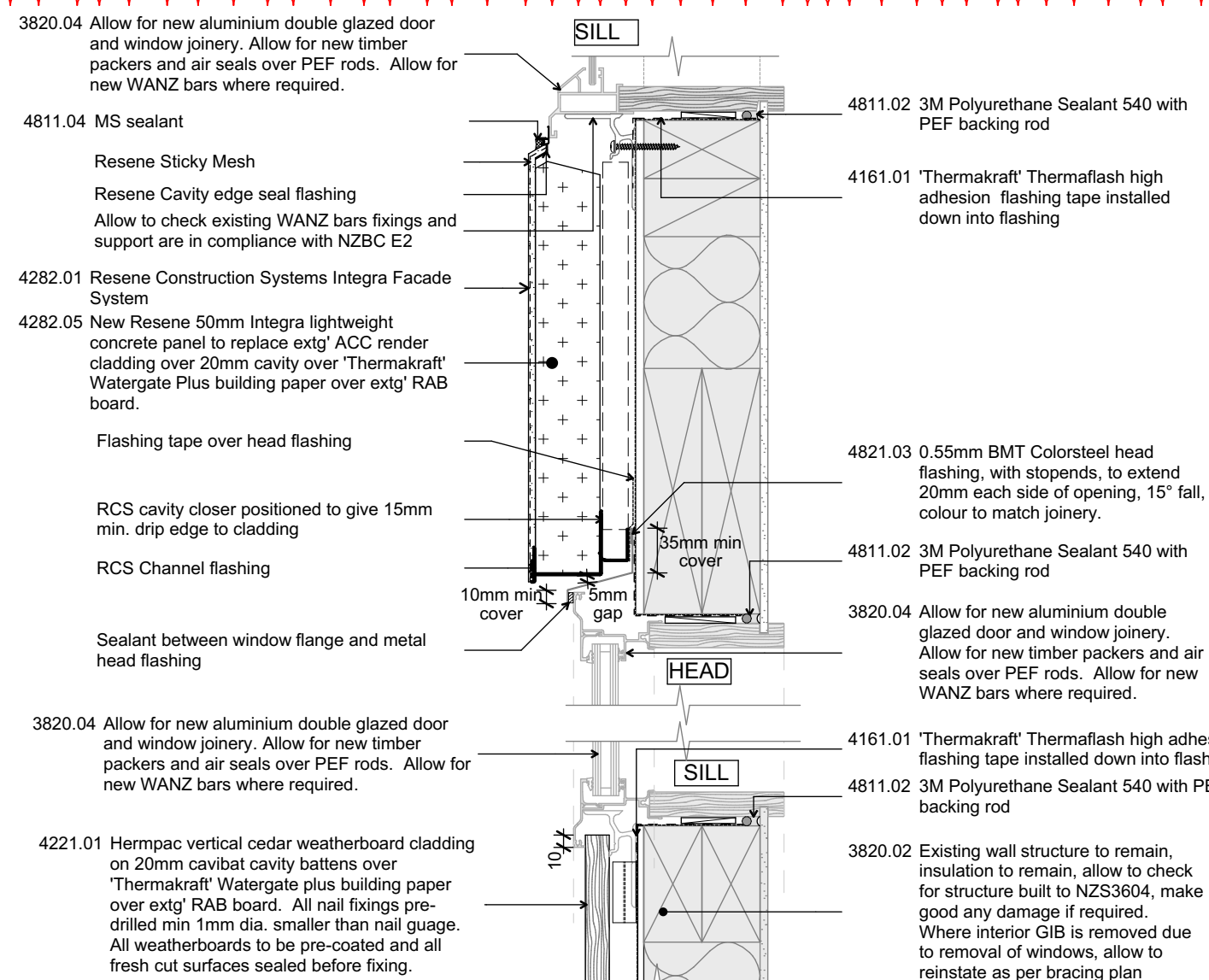
W30
L05

Detail: Verandah Roof Barge

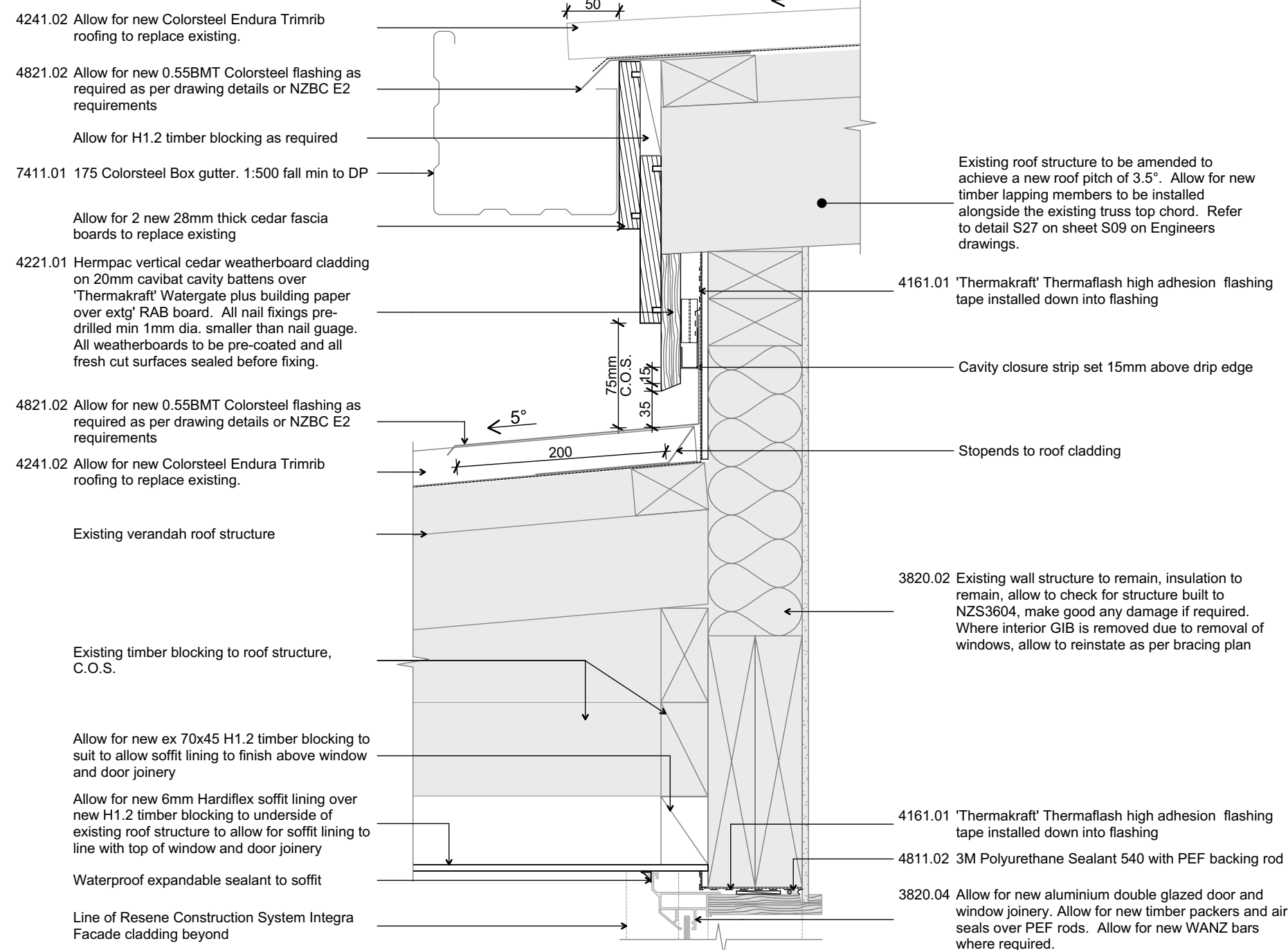
1:5



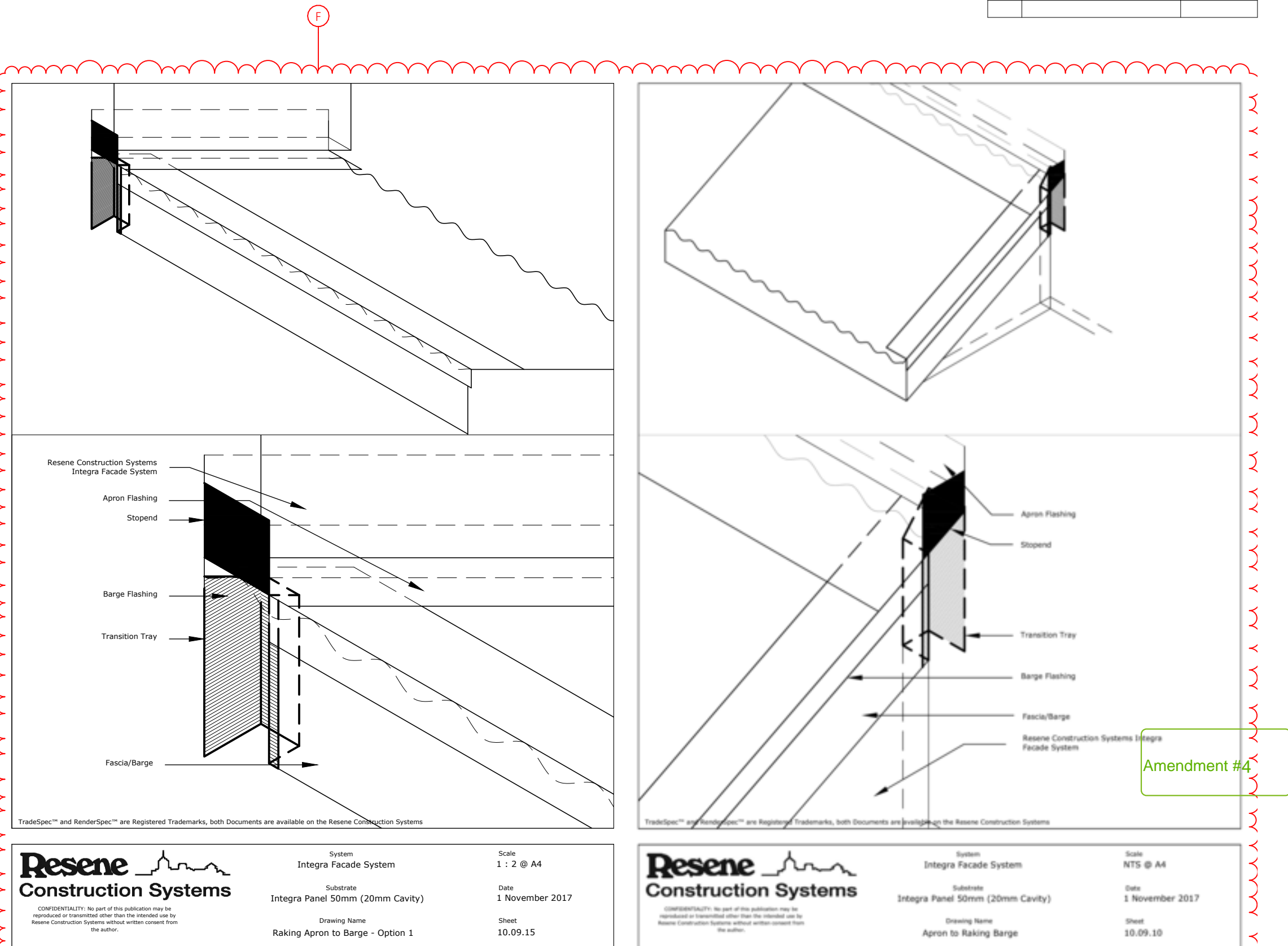
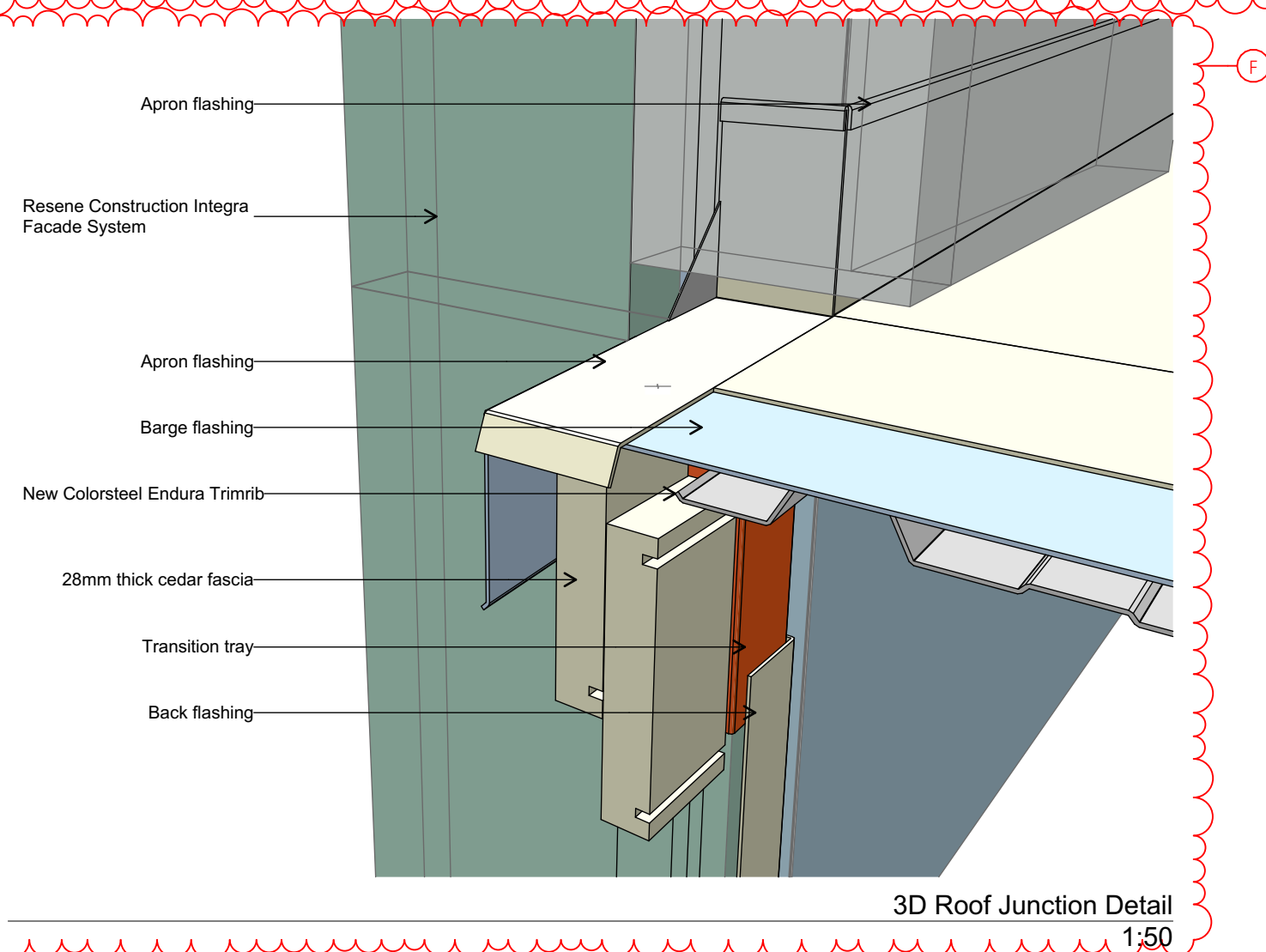
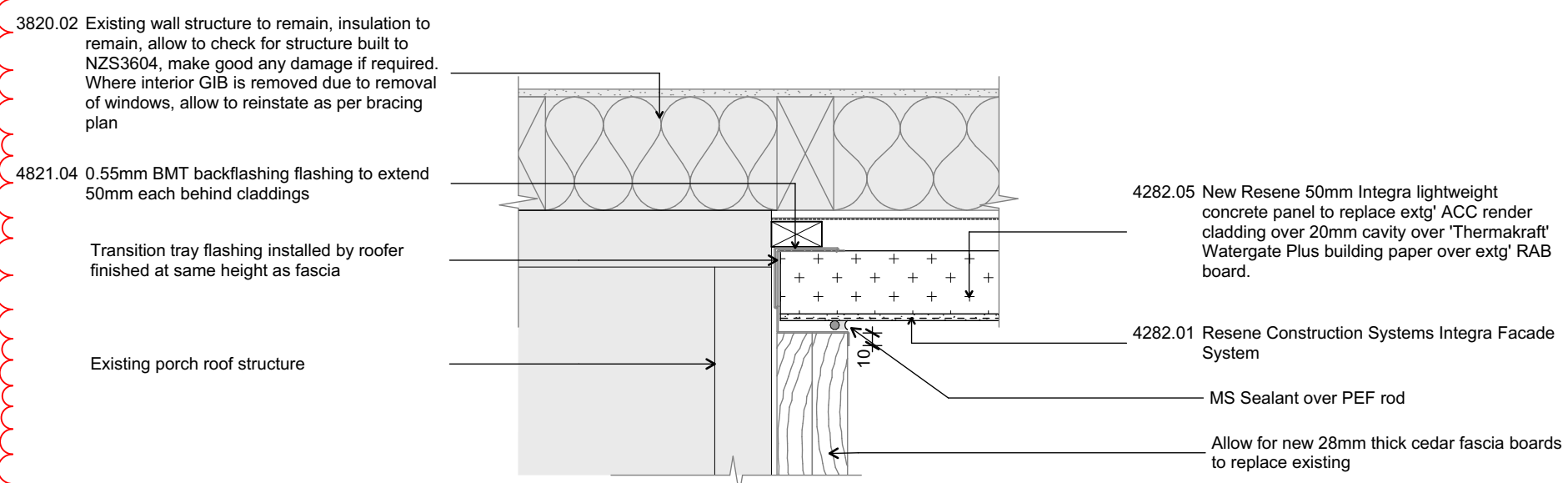
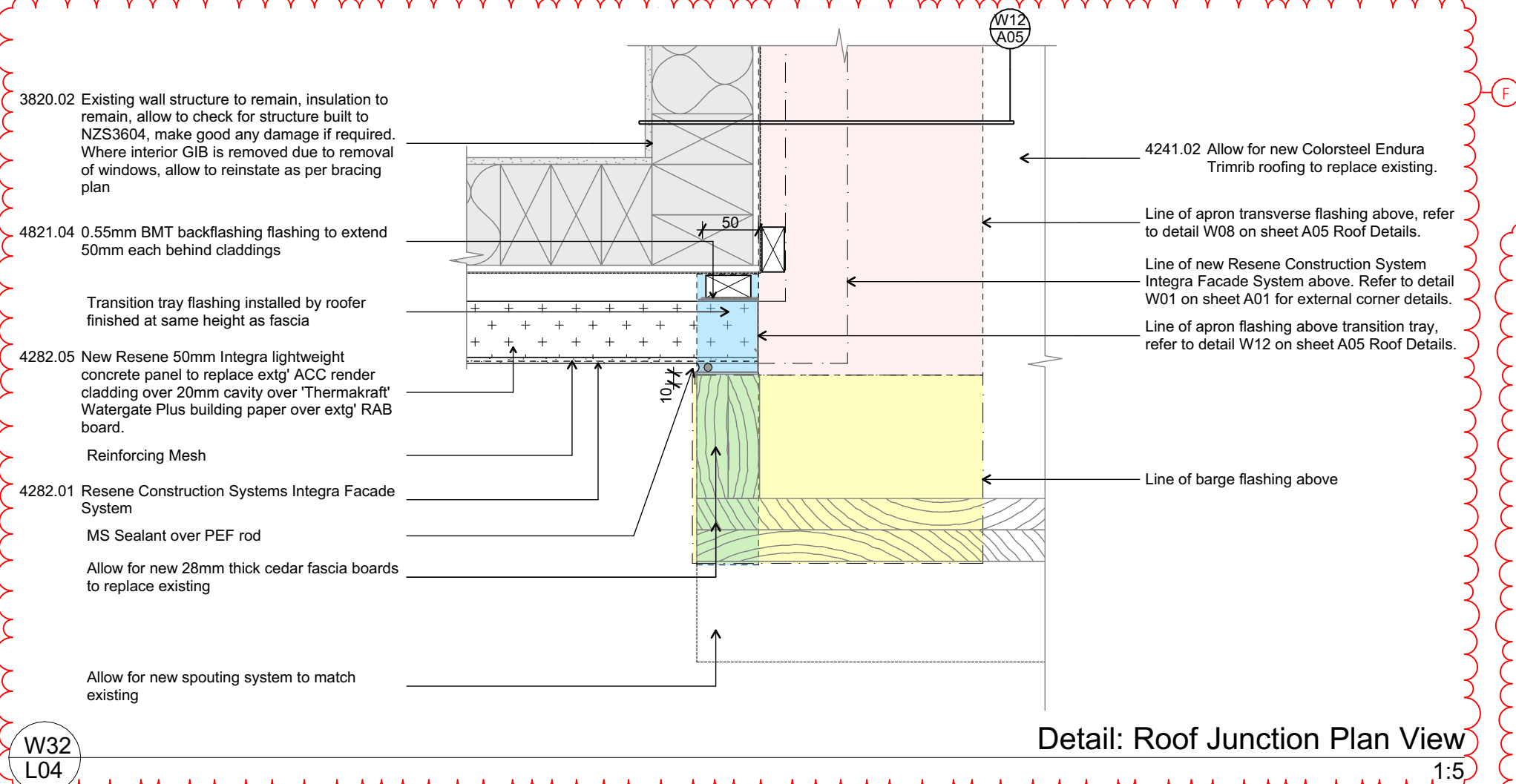
ELEVATION



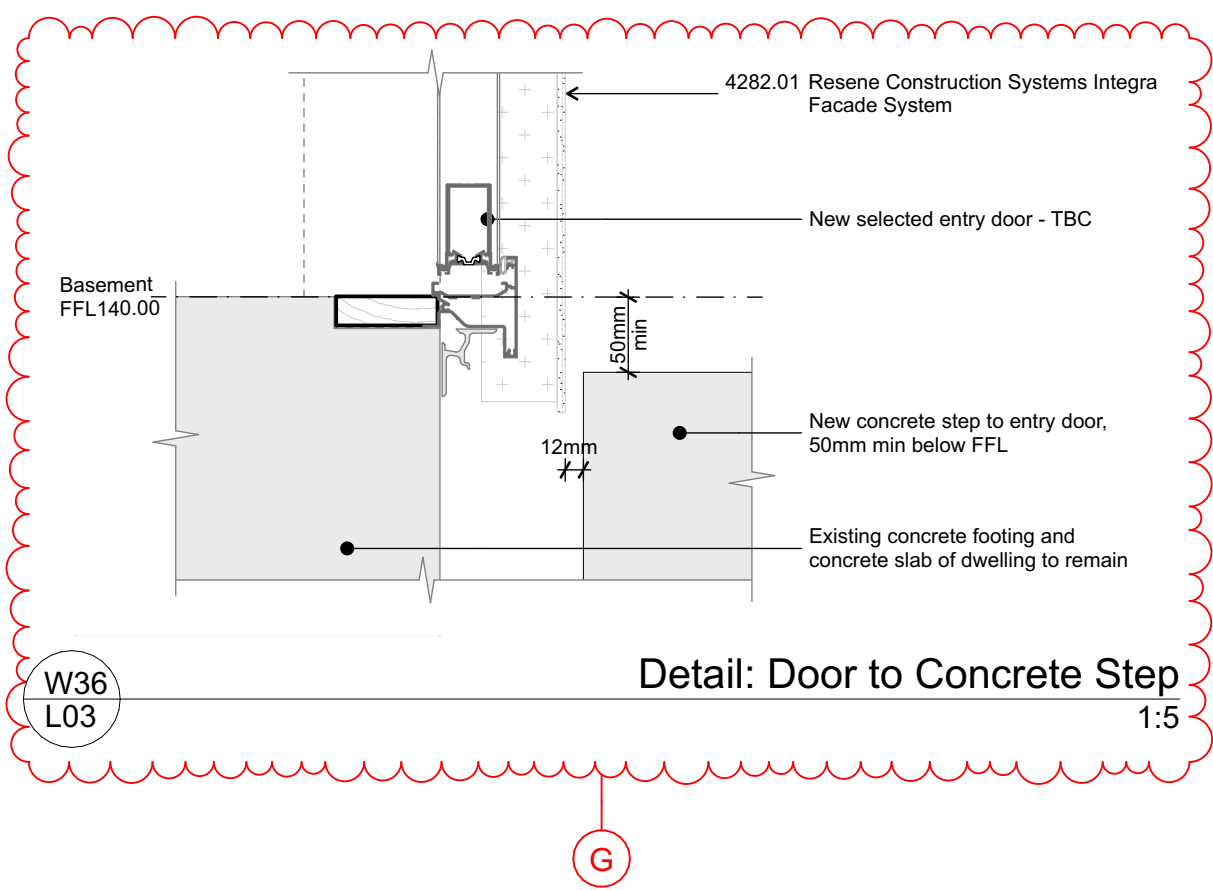
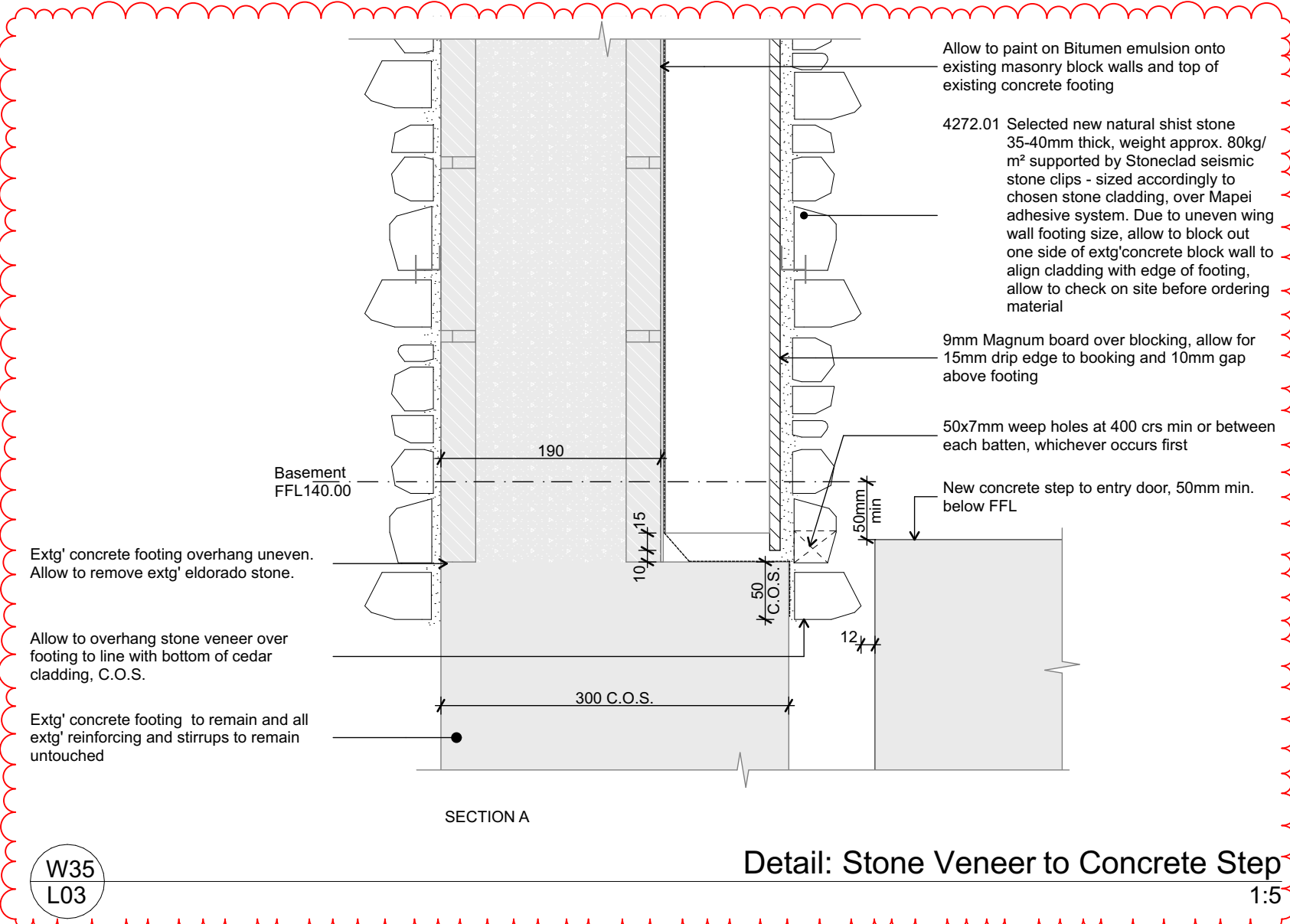
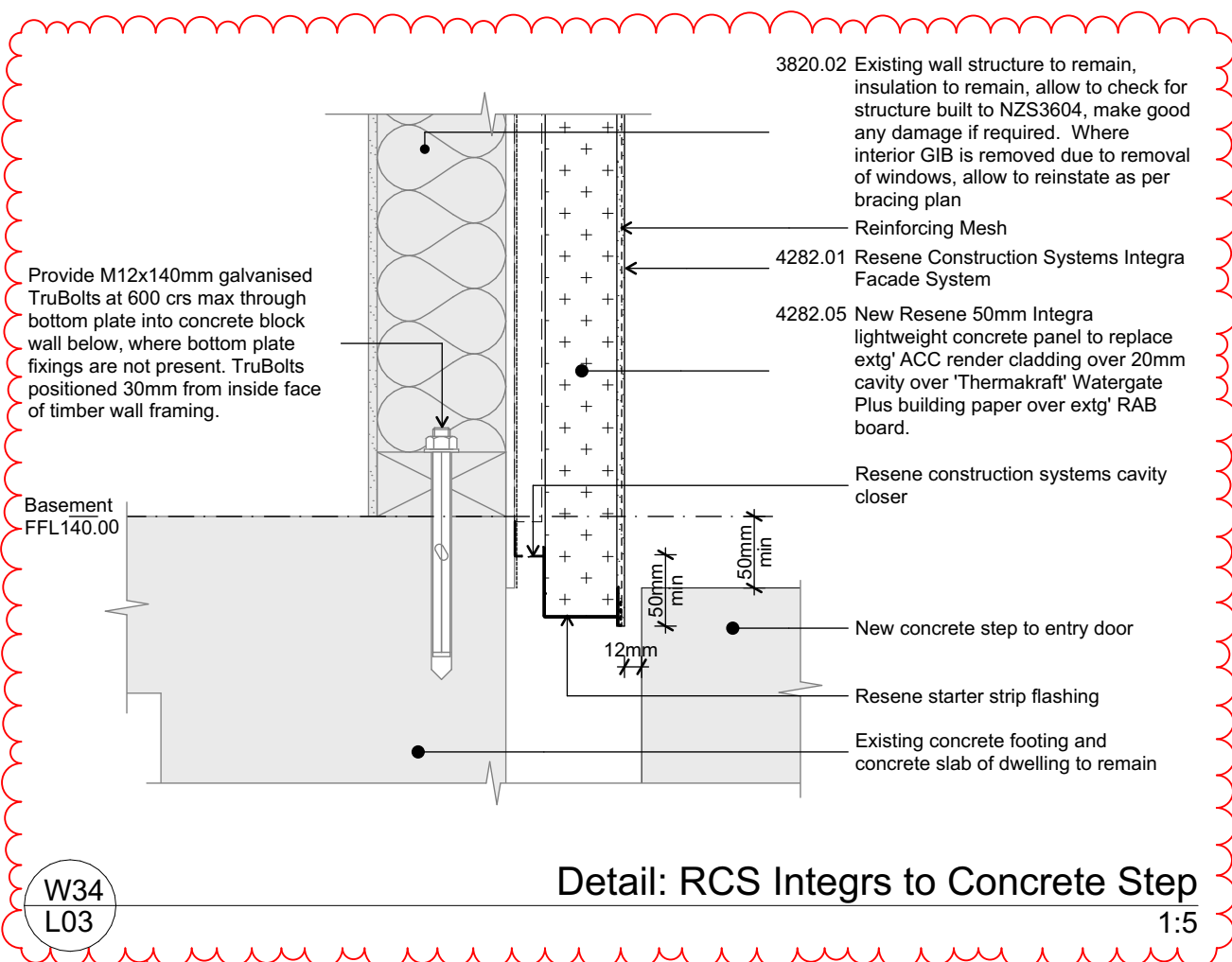
Detail: Rockcote Sill and Head Flashing



Detail: Verandah Roof Apron and Soffit
1:5



RevID	Comment	Date
G	New sheet	01.09.2023




Whangarei | 09 4389 529
Auckland | 09 373 5357
Wellington | 04 472 7282
Christchurch | 03 365 5960
ccl@coco.co.nz
www.coco.co.nz

CLIENT / PROJECT
CREST LANE RECLAD
9 CREST LANE, REDCLIFFS,
CHRISTCHURCH,

DRAWING TITLE
CONCRETE STEP DETAILS

DESIGNED	DRAWN	CHECKED	SCALE	STATUS	REVISION
SD	KP	SD		A3 original	
				AMENDMENT G - ARCHITECTURAL SET	
JOB NO.				DRAWING NO.	REVISION
12557-197				A10	G
				PAGE 18	OF 18